



Arlington Conservation Commission

Date: Thursday, February 2, 2023

Time: 7:00 PM

Location: Conducted by Remote Participation

Please register in advance for this meeting. Reference materials, instructions, and access information for this specific meeting will be available 48 hours prior to the meeting on the Commission's agenda and minutes page. Pursuant to State Legislation suspending certain provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the March 2, 2023, public meeting of the Arlington Conservation Commission shall be physically closed to the public to avoid group congregation. The meeting shall instead be held virtually using Zoom. Please note: Not all items listed may in fact be discussed and other items not listed may be brought up for discussion to the extent permitted by law. This agenda includes those matters which can be reasonably anticipated to be discussed at the meeting.

Agenda

1. Administrative
 - a. February 16, 2023 Meeting Minutes
 - b. Correspondence Received
 1. Con Comm and Poet's Corner
 2. Compliance Certificate
 3. Trees at Mohawk
 4. 6 Lawrence Lane
 5. Poets Corner
 6. Use of Local Funds - Helpline Question
 7. April 11 AT public forum
 8. Poets Corner who defends the environmental resources in Arlington
 9. AC Turf Field
 10. Toxic crumb rubber continues to escape Arlington Catholic field on Summer Street impacting environment
2. Discussion
 - a. Artificial Turf Forum Expenditure
 - b. Certificate of Compliance: 6 Lawrence Lane
 - c. Enforcement: Arlington Catholic Artificial Turf Field
 - d. Symmes Conservation Restriction / Arlington 360
 - e. 1021-1025 Massachusetts Ave. 40B Update
 - f. Water Bodies Working Group

- g. Open Space Committee
- h. Tree Committee Liaison
- i. Gas Leaks Task Force Update
- j. Arlington Wetlands Regulations Update

3. Hearings

Request for Determination of Applicability: 22 Mill Street

Request for Determination of Applicability: 22 Mill Street
Documents: 22 Mill St- RDA Documents

This public hearing will consider a Request for Determination of Applicability to repair an existing culvert crossing structure at 22 Mill Street, within the Riverfront Area and Adjacent Upland Resource Area associated with Mill Brook.

Request for Determination of Applicability: 106-108 Varnum Street (Continuation)

Request for Determination of Applicability: 106-108 Varnum Street (Continuation)

The Commission is expected to continue this hearing to the March 16, 2023 meeting. This public hearing will consider a Request for Determination of Applicability to pave a parking area in the rear of 106-108 Varnum Street within Bordering Land Subject to Flooding (Zone AE).

Notice of Intent: Spy Pond Aquatic Invasive Treatment (Continuation)

Notice of Intent: Spy Pond Aquatic Invasive Treatment (Continuation)

This public hearing will consider a Notice of Intent for aquatic invasive management in Spy Pond. Work is proposed to be conducted within Land Under Water. The management will include chemical and mechanical treatment of invasive plant species.



Town of Arlington, Massachusetts

Correspondence Received

Summary:

Correspondence Received

1. Con Comm and Poet's Corner
2. Compliance Certificate
3. Trees at Mohawk
4. 6 Lawrence Lane
5. Poets Corner
6. Use of Local Funds - Helpline Question
7. April 11 AT public forum
8. Poets Corner who defends the environmental resources in Arlington
9. AC Turf Field
10. Toxic crumb rubber continues to escape Arlington Catholic field on Summer Street impacting environment

ATTACHMENTS:

	Type	File Name	Description
▢	Reference Material	Correspondence_Received_for_03022023.pdf	Correspondence Received for March 2, 2023

David Morgan

From: Beth Melofchik <tankmadel@yahoo.com>
Sent: Monday, February 27, 2023 3:56 PM
To: David Morgan
Subject: Re: Compliance Certificate

Categories: ConCom Correspondence

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Is there an outstanding Certificate of Compliance for the St. Camillus Archdiocese property at Poets Corner?

On Monday, February 27, 2023 at 08:51:31 AM EST, David Morgan <dmorgan@town.arlington.ma.us> wrote:

Hi Beth,

Unfortunately, it's more common than not for a permit to not have a Certificate of Compliance in Arlington. We have hired a consultant to work through the backlog of permits that were not closed out over the years. Offhand, I'd estimate 75% or more have not been closed out. We recently started adding conditions to the permits we issue requiring the applicants to file and close out their permit or face a violation. That's not the case for Arlington Catholic, so the only significance of that fact is that they will need to obtain a Certificate of Compliance to clear their title if/when they sell the property.

Cheers,
David

David Morgan | Environmental Planner + Conservation Agent | Department of Planning and Community Development | 781.316.3012

Arlington values equity, diversity, and inclusion. We are committed to building a community where everyone is heard, respected, and protected.

From: Beth Melofchik <tankmadel@yahoo.com>
Sent: Saturday, February 25, 2023 8:16 AM
To: David Morgan <dmorgan@town.arlington.ma.us>
Subject: Compliance Certificate

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

David,

What is the significance of the Compliance Certificate and the fact that Arlington Catholic is still outstanding regarding Summer Street field?

Regards, Beth

David Morgan

From: Susan D. Chapnick <s.chapnick@comcast.net>
Sent: Monday, February 27, 2023 7:43 PM
To: Jon Gersh
Cc: Charles And Nancy; David Morgan; ctirone@ci.reading.ma.us
Subject: Re: Con Comm and Poet's Corner

Categories: ConCom Correspondence

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi Jon,

Thank you for your email and your support and concern for our wetland resources and environment in Arlington. I can appreciate your and other abutter's specific concerns about flooding. I was not aware of the history - that is very interesting.

As you are aware from the comments that I made at the public hearing, I am in favor of the Town and Belmont Hill School considering the option of organically managed natural turf fields. It did not sound to me like that was a consideration in the draft design plans. From my point of view (we have not yet had a vote on this at the Conservation Commission, though we have had several discussions - so I am not speaking for the entire Commission), artificial turf fields are harmful to wetland resource areas because they negatively impact the wildlife habitat and wetland resource values we protect due to toxic chemicals and particulates (including microplastics) that can migrate from these fields. In addition, artificial turf is much hotter than natural grass and does not meet our current climate resilient standards in our local wetland regulations.

I would encourage you to attend the Town-wide panel discussion planned for April 11th on Artificial Turf Fields. Prior to this, you may be interested in some of the materials previously presented at a public meeting of the Conservation Commission here:

<https://www.arlingtonma.gov/Home/Components/News/News/12938/3972>

In addition, I would be happy to talk further about your concerns and ideas. Maybe we could set up a zoom call - I have copied David Morgan, Env. Planner & Conservation Agent and our Vice Chair, Chuck Tirone, on this response so that we can plan a follow up.

Thank you again for your communication and your advocacy.

Best,
Susan

Susan D. Chapnick, M.S.

Chair, Arlington Conservation Commission
s.chapnick@comcast.net

On 02/24/2023 11:54 AM Jon Gersh <jgersh0923@gmail.com> wrote:

Hi Susan! Jon Gersh here, an abutter to Poet's Corner, and town meeting member. Ditto for Charles W., cc'ed here.

I want to thank you for speaking up for our local wetland last night at the PRC meeting. They cleverly tried to shut down the discussion of the artificial turf! So extra thanks to you for making your case.

We had a similar scenario 20 years ago when the Church wanted to build an enormous 40B development on the site. The Con Comm stood with us then, too. But it was a battle! We hired LSPs

and lawyers, and learned a lot about what's just below the surface there. Needless to say, we were quite disturbed at the prospect of digging up that parcel!

Fast-forward to today. We have the same concerns about the site, not the least of which is our homes flooding. It's a wetland for a reason! As you can see on the attached vintage map, Clematis Brook passed through that parcel. And, most importantly, it still does! Except that they culverted the brook below the surface in Arlington, and it surfaces again at the Belmont Country Club nearby (along with our sewage overflow.) So it's really wet here.

So here's the thing. Of all the things they could attempt with that parcel, this park so far seems like the most agreeable. If it's just a matter of insisting on a natural turf surface, we neighbors kind of like the idea of a park there, if it can be fit in. We don't want to throw out the baby with the bath water, so to speak. So we'd be interested in a kind of a balancing act, but that's hard now when people on both sides are feeling like this is an all-or-nothing sort of proposition.

We will continue to look toward the Con Comm for leadership in this area, and will keep abreast of ongoing issues. We found the page on the January meeting which we missed, and it was very well documented, thank you.

If you'd ever like to talk about the parcel, we are here at the dead end of Kipling Road.

Thanks again for your leadership.

Sincerely, Jon Gersh, 24 Kipling Rd., 339-368-0291

Sent from my iBanjo

David Morgan

From: Susan D. Chapnick <s.chapnick@comcast.net>
Sent: Monday, February 27, 2023 12:16 PM
To: Tirone, Charles; David Morgan
Subject: Re: Trees at Mohawk

Categories: ConCom Correspondence

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Well - I didn't initially read that it was a personal use - you are right, Chuck. Hopefully, it won't happen again....

Susan D. Chapnick, M.S.
President & Principal Scientist
NEH, Inc.
2 Farmers Cir
Arlington, MA 02474
ph: 617-643-4294
https://linkprotect.cudasvc.com/url?a=https%3a%2f%2fwww.neh-inc.com&c=E,1,WGTUrUrk6J4PEdNj2Y3H5qyNifHAKtGKOFSAZ_dGd9KI8Xu1VDSt4Q3K7860RuZqe17KF4KmNIBOSQbYJ28P30-H-2i0duXQZVUEslebk2T4D4vSYxPvIQ,,&typo=1 (https://linkprotect.cudasvc.com/url?a=http%3a%2f%2fwww.neh-inc.com&c=E,1,vrsqdTv2963PPn4_tvfly-si71ngo9AnNpeb7oMv_XQBNH1jeOp9vnVbf023oH50YroZeiuf2cInSerWJgvgJm7vgSiGAliQPtzUNJlasJSI&typo=1)

> On 02/27/2023 11:57 AM Tirone, Charles <ctirone@ci.reading.ma.us> wrote:

>
>
> Interesting, didn't see that coming. Conservation land is for public use not personal use. Also probably nothing to this, just me, but dropping huge trees above a gas lines seems to be a danger issue with me.

>
> Chuck Tirone
> Conservation Administrator
> 16 Lowell Street
> Reading, Ma 01867
> p: 781-942-6616
> f: 781-942-9071

>
> ctirone@ci.reading.ma.us
> Town Hall is closed on Friday
> Office Hours: Mon- Wed - Thurs 8:00 - 5:30
> Tuesday 8:00- 7:00 Reading is updating it's
> Open Space and Recreational Plan! Help us understand your issues and concerns about the Town's open space and recreational areas. Visit
https://linkprotect.cudasvc.com/url?a=https%3a%2f%2fwww.readingopenspaceandrec.com&c=E,1,StmvFLbYk7YCEg0JZWHWXuyy9j2IPllMW5ryTE6k81nv3BGY1Be7y2ptrvqBWJvkbmgRHKPos1zA0OU7H_NWl1LxE_Lpui2ZT9dHzQg38lLs&typo=1 to learn more about the plan and the update process.

>
> On Feb 27, 2023, at 11:51 AM, David Morgan <dmorgan@town.arlington.ma.us> wrote:

>
>
>
> CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.
>
>
> Cheers,
> David
> David Morgan | Environmental Planner + Conservation Agent | Department
> of Planning and Community Development | 781.316.3012 Arlington values equity, diversity, and inclusion. We are committed to building a community where everyone is heard, respected, and protected.
>
> From: Tim Lecuivre <tlecuivre@town.arlington.ma.us>
> Sent: Monday, February 27, 2023 11:51 AM
> To: David Morgan <dmorgan@town.arlington.ma.us>
> Subject: Re: Trees at Mohawk
>
> Hi David,
>
> I have been informed that the wood belongs to a Town employee in facilities. The Forestry Supervisor will have him remove it.
>
> Thanks,
> Tim
>
> Timothy A. Lecuivre MCA, MQTW
> Arlington Tree Warden
> Department of Public Works
> 51 Grove Street
> Arlington, MA 02476
> TLeecuivre@town.arlington.ma.us<mailto:TLeecuivre@town.arlington.ma.us>
> _____
> From: David Morgan
> <dmorgan@town.arlington.ma.us<mailto:dmorgan@town.arlington.ma.us>>
> Sent: Monday, February 27, 2023 11:23 AM
> To: Tim Lecuivre
> <tlecuivre@town.arlington.ma.us<mailto:tlecuivre@town.arlington.ma.us>
> >
> Cc: ctirone@ci.reading.ma.us<mailto:ctirone@ci.reading.ma.us>
> <ctirone@ci.reading.ma.us<mailto:ctirone@ci.reading.ma.us>>; Susan
> Chapnick <s.chapnick@comcast.net<mailto:s.chapnick@comcast.net>>
> Subject: Trees at Mohawk
>
>
> Hi Tim,
> These cut trees showed up on the conservation property at Mohawk Road. Is it your crew stashing them to chip up later, or is a neighbor dumping debris there?
>
>
>
> Cheers,

> David

>

> David Morgan | Environmental Planner + Conservation Agent | Department

> of Planning and Community Development | 781.316.3012 Arlington values equity, diversity, and inclusion. We are committed to building a community where everyone is heard, respected, and protected.

David Morgan

From: William Copithorne
Sent: Monday, February 27, 2023 11:40 AM
To: David Morgan
Subject: Re: 6 Lawrence Lane

Categories: ConCom Correspondence

David,

I do not see any stormwater submittals or other Engineering related permits for this address.

-Bill

William C. Copithorne, P.E.
Assistant Town Engineer

Town of Arlington Department of Public Works
Engineering Division
23 Maple Street Arlington, MA 02476
781.316.3322

From: David Morgan <dmorgan@town.arlington.ma.us>
Sent: Monday, February 27, 2023 11:28 AM
To: William Copithorne <wcopithorne@town.arlington.ma.us>
Subject: 6 Lawrence Lane

Hi Bill,
Did we talk about 6 Lawrence last time we met? Do you have a permit for them? Work was done in 2011.

Cheers,
David

David Morgan | Environmental Planner + Conservation Agent | Department of Planning and Community Development |
781.316.3012

Arlington values equity, diversity, and inclusion. We are committed to building a community where everyone is heard, respected, and protected.

David Morgan

From: Beth Melofchik <tankmadel@yahoo.com>
Sent: Saturday, February 25, 2023 6:34 AM
To: David Morgan; Tirone, Charles
Subject: Re: Poets Corner

Categories: ConCom Correspondence

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

thanks

Robin Bergman attempted to ask this as Joe introduced "land swap" in the closing seconds of the meeting but she was not recognized.

I did not hear land swap earlier in the meeting. I was disappointed that Greg Schneider, Belmont Hill School did not answer any questions and it seemed as though both Belmont Hill School and the Archdiocese of Boston were hiding behind Joe Connelly and Stantec. Not much of a public dialogue. Not much of a dialogue as Dir of Recreation did most of the talking or Stantec did.

Is Stantec determining Land Management in town or just in the Land Managment Plan, P 290?

Did Arlington Catholic ask for an extension at Summer Street connected to this deal?

To me, it is looking odd.

On Friday, February 24, 2023 at 12:17:47 PM EST, Tirone, Charles <ctirone@ci.reading.ma.us> wrote:

Hi Beth,

Thank you for attending last nights poets corner meeting and reaching out to me. I added David Morgan to this email. David will be able to give you the current information we know about the land swap. I'm not sure if they are talking about an Article 97 parcel or something that doesn't involve Article 97 at all. This would have been a great question for last nights meeting. If David can't answer your question you could reach out to Joe Connelly or one of us will have to bring it up the next time.

Chuck Tirone
Conservation Administrator
16 Lowell Street
Reading, Ma 01867
p: 781-942-6616
f: 781-942-9071

ctirone@ci.reading.ma.us

Town Hall is closed on Friday

Office Hours: Mon- Wed - Thurs 8:00 - 5:30

Tuesday 8:00- 7:00

Reading is updating it's Open Space and Recreational Plan! Help us understand your issues and concerns about the Town's open space and recreational areas. Visit www.readingopenspaceandrec.com to learn more about the plan and the update process.

On Feb 23, 2023, at 7:42 PM, Beth Melofchik <tankmadel@yahoo.com> wrote:

David Morgan

From: Dorothy McGlincy <dorothy.mcglincy@maccweb.org>
Sent: Friday, February 24, 2023 11:44 AM
To: David Morgan
Cc: Joey Wigglesworth; Michele Girard; Dorothy McGlincy
Subject: RE: Use of Local Funds - Helpline Question
Attachments: DOR_Guidance_98-101-WPA-fees.pdf; DOR_letter_on_fee_money.pdf; ConCom-Fees-Sources-Spending-ConservationQuarterly-Spring2019.docx

Categories: ConCom Correspondence

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

David: I have attached two documents from the Department of Revenue, while a bit dated, address how fees can be used. I have also attached a 2019 Conservation Quarterly article on this issue.

Finally – the Handbook has lots of information – have you searched it for information? The Handbook is always the second place to look after reviewing the regulations.

Here are some excerpts from MACC's eHandbook:

Page: 3.3.1. The Commission Budget

The conservation commission's budget is part of the general municipal budget and is voted to the conservation commission by the *city council* or *town meeting*. Familiarity with the municipal budgeting process and the various players within that process (e.g., finance committees) is advisable. Commissions should emphasize to the appointing authority and the finance committee that an adequate budget is important to keeping the commission up to date and functioning professionally and effectively, and that such support will lead to better services and fewer *lawsuits*. Money may be appropriated by city council or town meeting for many purposes, but the line items in a municipal budget are usually final, unless successfully challenged during the legislative process. Expense money to cover the operations of the commission will normally appear in the town or city budget as a single line item identified as "conservation commission" or "conservation commission expenses," or as several separate line items under the conservation commission title. Budgets usually include items such as:

- Staff salaries,
- Office supplies, printing, copying, phone,
- Attendance at conferences, training, dues, publications, subscriptions
- Surveys
- Maintenance of land administered by the commission

Budget money not spent or encumbered by the end of the fiscal year in which it was appropriated will revert to the "excess and deficiency" account (general fund). Some communities try to deal with this "pull the plug" problem by passing "*standing*" votes authorizing accumulations from year to year, a legally dubious process. The commission should assume that all budget monies not spent or encumbered will revert.

When the commission uses the service of the town counsel/city solicitor, the cost may be charged to the commission's budget. It is wise to consult with higher authority before seeking assistance from *counsel*, either town counsel or specialized and out side environmental counsel.

Page: 3.3.2. Conservation Fund

Municipalities may vote to appropriate money every year or periodically to a dedicated "Conservation Fund", the monies from which can be used for things such as land management, public education,

and land protection. Money in such a fund may be rolled over from year to year if not spent. Commissions can, thereby, accrue money in pursuit of larger goals, such as land acquisition or parcel improvements.

Note that conservation commissions may collect fees, including leases, for the use of municipal conservation land (see [HB 9.8.1](#)) and for the sale of maps and other items. Like all other fees and fines received by a community, however, these fees and proceeds go to the general fund of the community unless state law provides otherwise or the *town meeting* or *city council* votes otherwise each year. They therefore cannot be considered revenue able to be applied directly to offset commission expenses.

Page: 3.3.3. Wetland Filing Fees

Conservation commissions are authorized by the [Wetlands Protection Act](#) and 310 *CMR* 4.00 [\[PDF\]](#) to collect and retain filing fees for permit and certain other applications to offset the costs of administering the Wetlands Protection Act [\[PDF\]](#). Filing fees (split between the state MassDEP and *municipality*) are mandated by the Act and Regulations; they are described in detail in the Wetland Regulations and on the individual forms to which they apply. Municipalities may also charge reasonable fees through their wetland bylaws and regulations for applications and services. ([HB 14.4.5](#)).

Such filing fees deposited into a special “Wetland Filing Fees Fund” can be used for all Wetlands Protection Act purposes, including staff time spent on administering the Act, and not merely for case-by-case review. Thus, this account does augment the commission’s budget, for its limited purposes. Filing fees collected under the Wetlands Protection Act must be set aside in a special account that does not revert to the general fund and cannot be voted to other use. It is not legal for filing fee money collected under the Act to be transferred to the general fund. However, interest accrued does go to the general fund. Surplus from a filing fee stays in the account for later use unless the applicant successfully appeals the fee when filing the Notice of Intent. Filing fee requirements are spelled out by the Department of Revenue.

Filing fee funds are not automatically handed over to the commission. Written approval of the mayor, manager, or *selectboard* is required. Prior to the 1997 amendment to the Wetlands Protection Act, a *city council* or *town meeting* vote was required. Any form of written permission should suffice; the commission should ask the treasurer what is acceptable before submitting bills.

A wetlands *bylaw/ordinance* may also establish a schedule of local filing fees (in addition to those under the Wetlands Protection Act). These funds are best placed in a separate account. They should not be mingled with the Wetlands Protection Act filing fees, because the payout provisions may be different. Many communities place these funds in a special account; an annual authorization will permit “rolling over” the accumulated balances. For more on filing fees under wetlands bylaws/ordinances see [HB 14.4.5.1](#).

Note that wetland filing fees under a local law are entirely separate from consultant or “design review” fees that can be imposed by commissions (with or without a bylaw or ordinance) after adopting *regulations* pursuant to [MGL Ch. 44 §53G](#). These regulations are addressed in [HB 2.5.5](#).

Page: 19.5.12.4. Administering the Fee System

Filing fees collected by the *municipality* must be deposited into a dedicated account ([HB 3.3.3](#)).

The amendment to the Wetlands Protection Act providing for the new fee structure specifies that the municipality may not use the fees received for any purposes other than expenditure by the conservation commission in performing its duties under the Wetlands Protection Act. The municipal accountant must record the fees as receipts reserved for appropriation to the conservation commission ([HB 3.3.3](#)).

I hope some of this helps. – Dot McGlincy

From: David Morgan <dmorgan@town.arlington.ma.us>

Sent: Friday, February 24, 2023 11:06 AM

To: Joey Wigglesworth <joey.wigglesworth@macweb.org>

Subject: Use of Local Funds

Hi Joey,

Do you have guidance on the use of local fees that I can review? I'm looking for what restrictions there are on spending.

Cheers,

David

David Morgan | Environmental Planner + Conservation Agent | Department of Planning and Community Development |
781.316.3012

Arlington values equity, diversity, and inclusion. We are committed to building a community where everyone is heard, respected, and protected.

David Morgan

From: Wynelle Evans <evco7@rcn.com>
Sent: Friday, February 24, 2023 10:11 AM
To: David Morgan; Susan Chapnick
Subject: re: April 11 AT public forum

Categories: ConCom Correspondence

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear David and Susan,

At last night's Poets Corner meeting the upcoming public forum on artificial turf was mentioned. It sounds as if this will be organized and hosted by PRC. Joe Connelly mentioned that there will be speakers both pro and co on AT, whom I'm assuming will be identified and invited by PRC.

I'm curious about how a true balance of input can be achieved, since from what I've heard at various meetings, all PRC members are firmly pro AT.

Will ConCom and the office of Environmental Planning be involved in planning this forum, and will either or both have any say in who is chosen to talk about AT?

Thank you!
Wynelle

Wynelle Evans
TMM, Pct. 14
781.859.9291 cell
evco7@rcn.com

David Morgan

From: Susan D. Chapnick <s.chapnick@comcast.net>
Sent: Thursday, February 23, 2023 9:45 AM
To: Beth Melofchik; David Morgan
Cc: ctirone@ci.reading.ma.us
Subject: Re: Poets Corner who defends the environmental resources in Arlington

Categories: ConCom Correspondence

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Beth,
I appreciate your advocacy for the environment.
Respectfully, since this proposed project has not been submitted to the Conservation Commission for a permit, I would recommend that you to send input / comment emails directly to Park & Rec. That way, it is part of their record of public input for the proposal.

Thank you.
Susan

On 02/23/2023 9:35 AM Beth Melofchik <tankmadel@yahoo.com> wrote:

2000 children play soccer, several hundred play baseball in Arlington.

Why would Arlington lease away field rights to an elite private boys school on the condition artificial turf be installed when fields are in demand? Particularly when such an artificial field is unlikely to receive approval in Belmont one having been recently denied at the high school, as I understand.

I hope ConCom has a strong environmental resource area defense protocol since so many sports fields abut wetlands in Arlington. And in light of ongoing problems with Arlington Catholic field at Summer Street.

Is ConCom ready to push back on the requirement of artificial turf at Poets Corner?

Is this Belmont Hill School offer a means of circumventing ConCom prerogatives re Wetlands?

This is of particular concern since in the Land Management Plan P 290

"Consider converting natural grass fields to artificial turf." P290
[638109481537800000 \(arlingtonma.gov\)](https://www.arlingtonma.gov/638109481537800000)

Arlington environmental advocates do not want to see the Land Management Plan used as a cudgel to continue 20th century thinking regarding municipal assets and wetlands.

Respectfully,
Beth Melofchik

On Thursday, February 23, 2023 at 09:16:30 AM EST, Susan D. Chapnick <s.chapnick@comcast.net> wrote:

Thanks, David.

I would add that Park & Rec have a few draft proposals on their website:

<https://www.arlingtonma.gov/home/showpublisheddocument/63890/638112751548900000>

And the meeting is via zoom tonight on this proposal @ 6pm. You can register on-line at the Park & Rec webpage.

Thanks,
Susan

On 02/23/2023 8:30 AM David Morgan <dmorgan@town.arlington.ma.us> wrote:

Hi Beth,
Susan asked that I answer your questions about Poet's Corner, which I'm happy to do.

- ConCom does not own property at Poet's Corner. Recreation and the Archdiocese do.
- Yes, ConCom jurisdiction covers about a third of the combined properties. The attached map shows jurisdiction as we understand it today. There will be a wetland delineation prior to any construction that will determine the jurisdictional area for the proposed project; this map likely will not be used if we receive an application.
- We don't know details about Belmont Hill's proposal. We have yet to see a concept, design, or plan. I believe the trail and wetland park idea was mine, or maybe Susan's. I would like to see it advanced in the planning meetings.

Cheers,
David

David Morgan | Environmental Planner + Conservation Agent | Department of Planning and Community Development | 781.316.3012
Arlington values equity, diversity, and inclusion. We are committed to building a community where everyone is heard, respected, and protected.

From: Susan D. Chapnick <s.chapnick@comcast.net>
Sent: Thursday, February 23, 2023 8:17 AM
To: David Morgan <dmorgan@town.arlington.ma.us>
Cc: ctirone@ci.reading.ma.us
Subject: Fwd: Poets Corner

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

David,

Can you please answer Beth's questions about jurisdiction of the
Conservation Commission at Poets Corner?

I think these types of email questions should be answered by you as the
Agent and then we have an email record, too.

Thanks,

Susan

From: Beth Melofchik <tankmadel@yahoo.com>
Sent: Thursday, February 23, 2023 7:19:33 AM
To: Susan D. Chapnick <s.chapnick@comcast.net>
Subject: Poets Corner

Susan,

Does ConCom have a parcel at Poets Corner?

Is your resource area within the sports fields?

Does Belmont Hill School proposal offer trails through the
resource area?

Does ConCom own land up there or is the municipal parcel owned by Park and Rec?

I am trying to understand the purview, rights and responsibilities of ConCom vis a vis Poets Corner and the community.

Thanks,

Beth

David Morgan

From: Dan Shine <dshine@achs.net>
Sent: Friday, February 17, 2023 12:52 PM
To: David Morgan
Cc: Marc Bishop; John Graceffa
Subject: AC Turf Field

Categories: ConCom Correspondence

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "< >" brackets) and you know the content is safe.

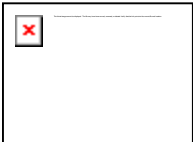
CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Mr. Morgan,

We did a sight visit yesterday with our Landskaper (Earthworks) And have come up with a few options. We thought it might be worthwhile if you did a walk through with us before we meet again with the Commission. Please advise us on your thoughts and availability.

Thanks in advance,
Dan

Daniel J. Shine
Director of Athletics
Head Boys Ice Hockey Coach (1978-2022)
MIAA Board of Directors
MIAA Ice Hockey Chairman
NFHS Ice Hockey Committee
(781) 646-7767
dshine@achs.net



David Morgan

From: ConComm@town.arlington.ma.us on behalf of Beth Melofchik <tankmadel@yahoo.com>
Sent: Friday, February 17, 2023 10:26 AM
To: David Morgan
Cc: Brucie Moulton; Ann LeRoy; Ellen Cohen; Dan Shine; Patrick Herron
Subject: [ConComm] Toxic crumb rubber continues to escape Arlington Catholic field on Summer Street impacting environment

Categories: ConCom Correspondence

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

CAUTION: This email originated from outside of the Town of Arlington's email system. Do not click links or open attachments unless you recognize the REAL sender (whose email address in the From: line in "< >" brackets) and you know the content is safe.

Susan Chapnick, Chair, Conservation Commission Arlington
David Morgan, Environmental Planner, Conservation Agent

Dear Susan, Dear David,

There has been no deployment of a silk sock at Arlington Catholic artificial turf field at Summer Street. It was a Jan 19 ConCom meeting where this was required, I believe. Loose crumb rubber is all over the field. I recently saw soccer players there, youth soccer players.

What are the conditions by which Arlington Catholic has an artificial turf field adjacent and intruding on ConCom resource area?

What are Arlington Catholic's obligations to ConCom?

Seemingly disregarded by this delay are the neighborhood's concerns as well as the impact on wildlife, migratory wildlife returns to Cookes Hollow each spring, protected migratory wildlife.

How long did it take to have a silk sock deployed at Mill Brook Square?

At ten years old, when will this field be replaced? Will reverting to an organically managed natural grass field be considered or recommended due to the proximity of Conservation Land and protected migratory species within the Mystic River watershed?

What is the concern for the residents of Cusack Terrace, an Arlington Housing Authority, AHA, adjacent property?

[Toxic PFAS Chemicals Found in Artificial Turf \(theintercept.com\)](https://theintercept.com)

WBUR broadcasts this week on PFAS

[AG Healey Sues Manufacturers of Toxic 'Forever' Chemicals for Contaminating Massachusetts Drinking Water and Damaging Natural Resources | Mass.gov](#)

PFAS are used in the extruding process to produce the grass blades and carpet.

[New Studies Show PFAS in Artificial Grass Blades and Backing | Environmental Working Group \(ewg.org\)](#)

[AG Healey Calls on U.S. Senate to Strengthen Protections Against Toxic 'Forever' Chemicals | Mass.gov](#)

Conservation Commission should be aware that a local preschool routinely brings toddlers to play on the field.

Toddlers and youth playing on loose crumb rubber, wildlife exposed to loose crumb rubber migrating into the environment.

These are current field conditions; the concerns are many.

Kind regards,
Beth Melofchik, Town Meeting Member

Acknowledge climate change, embrace science, be part of the solution.....Arlington
Green Coalition

CC: Sustainable Arlington, Open Space Committee, Mystic River Watershed



Town of Arlington, Massachusetts

Certificate of Compliance: 6 Lawrence Lane

Summary:

Certificate of Compliance: 6 Lawrence Lane

ATTACHMENTS:

	Type	File Name	Description
▢	Reference Material	6_Lawrence_Lane_COC_Request_Package.pdf	6 Lawrence Lane COC Request Package

MEMORANDUM

Date: December 15, 2022
To: Arlington Conservation Commission, c/o David Morgan
From: Ryan Clapp
Re: Certificate of Compliance - DEP #091-0216: #6 Lawrence Lane

On December 15, 2022, David Morgan and I performed a site visit at #6 Lawrence Lane as a preliminary step before the property owner filed a Request for a Certificate of Compliance. The details of the Order of Conditions are as follows:

Address:	6 Lawrence Lane
Applicant:	Anthony & Anna Coluzzo
Date of Issuance:	June 1, 2010
Recording Information:	Middlesex; Book 54995, Page 282
Approved Work:	Construction of addition and deck

Prior to the site visit, we were unable to locate the file for DEP #091-0216. I have reached out to Richard Kirby at LEC Environmental for a copy of the approved plans and Notice of Intent.

Paula Moran, the current property owner, provided us with a plan dated 4/28/2010 (note: the Order of Conditions notes the plan date as 5/21/2010). She provided us with a letter from Clifford Rober, dated 12/2/2022, pursuant to Special Condition #33 of the Order of Conditions, noting the following discrepancies:

- The overhead deck has been constructed 15'x16', rather than the approved 12'x16'. The three posts and sonatubes are in the original locations proposed, and the deck cantilevers an additional 3'.
- Approved HVAC has been moved farther away from the wetlands to the former location of platforms and stairs on right side of house as shown on the original Plot Plan.
- Original existing platform and stairs on right side of house shown on the Plot Plan are now removed.
- The tree on the Plot Plan to be preserved was not able to be preserved.

Furthermore, while onsite, the following discrepancies were noted:

- A picket fence has been constructed around the yard. In my opinion, this fence does not meet the exemption specified under 310 CMR 10.02(2)(b)(2)b, as it may constitute a barrier to wildlife movement.
- The driveway appears to have expanded beyond what was shown on the plan dated 5/21/2010, with an additional area of gravel extending to the rear property line/wetlands. Said driveway appears to have recently been resurfaced.
- A garden plot has been installed in the rear of the parcel. Compliance with Special Condition #32 of the Order of Conditions should be confirmed.
- The tree referenced in the letter from C. Rober looks to have been recently removed.

Please see the attached photographs taken onsite as exhibits.

Based on onsite observations, this property may not be in compliance with the Order of Conditions for DEP #091-0216: #6 Lawrence Road. Further research is required, which may be assisted by an existing conditions plan from 2010, if one exists. I am currently awaiting a response from R. Kirby at LEC Environmental for such a plan and/or narrative.

Notice of Intent Application and Wetland Resource Area Analysis

May 6, 2010

Subject Property

6 Lawrence Lane
Assessor's Map 108, Block 2, Lot 13
Arlington, Massachusetts

Applicant and Owner

Anthony and Anna Colozzo
6 Lawrence Lane
Arlington, MA 02474

LEC Environmental Consultants, Inc.

107 Audubon Road
Building 2, Suite 110
Wakefield, MA 01880
781-245-2500
781-245-6677 fax

www.lecenvironmental.com

May 6, 2010

Hand Delivery

Arlington Conservation Commission
Arlington Town Hall
730 Massachusetts Avenue
Arlington, MA 02476

**Re: Notice of Intent Application and
Wetland Resource Area Analysis
6 Lawrence Lane
Assessor's Map 108, Block 2, Lot 13
Arlington, Massachusetts**

[LEC File #: CoIT\10-108.02]

Dear Members of the Conservation Commission:

On behalf of the Applicants, Anthony and Anna Colozzo, LEC Environmental Consultants, Inc., (LEC) is filing the enclosed Notice of Intent (NOI) Application and *Wetland Resource Area Analysis* with the Arlington Conservation Commission for the construction of an addition and wooden deck at 6 Lawrence Lane in Arlington, Massachusetts. Portions of the proposed activities are located within the Buffer Zone to Bordering Vegetated Wetlands (BVW). The Applicants propose to implement erosion controls to minimize the potential for impacts to the BVW and protect the interests identified in the *Massachusetts Wetlands Protection Act* (M.G.L. c. 131, s. 40), its implementing Regulations (310 CMR 10.00), the *Town of Arlington Wetlands Protection By-Law* (Article 8), and its *Wetlands Protection Regulations*.

LEC was retained to identify Wetland Resource Areas protectable under the pertinent statutes and to prepare this NOI Application. Bowditch & Crandall, Inc., has prepared the enclosed *Plot Plan* dated April 28, 2010 (Appendix B).

Enclosed please find two checks made payable to the Town of Arlington in the amounts of Sixty Seven Dollars and Fifty Cents (\$67.50) and One Hundred Dollars (\$100.00) for the purposes of filing this Application under State and Local guidelines, respectively, as well as a copy of the check sent to the Department of Environmental Protection (DEP) for Forty Two Dollars and Fifty Cents (\$42.50).

Thank you for your consideration of this Application. We look forward to meeting with you at the May 20, 2010 Public Hearing. Should you have any questions, please do not hesitate to contact Richard Kirby in our Wakefield office at 781-245-2500 or at rkirby@leceenvironmental.com.

Sincerely,

LEC Environmental Consultants, Inc.



Richard A. Kirby, Manager
Senior Wetland Scientist

cc: DEP, Northeast Region; Anthony and Anna Colozzo; Villandry Contracting, Inc.

rak:projects\10-108\CoIT\NOIReport.doc

LEC Environmental Consultants, Inc.

www.leceenvironmental.com

1248 Route 28A, Unit 6
P. O. Box 778
Cataumet, MA 02534
508-563-5357
508-563-5358 (Fax)

36 Cordage Park Circle
Suite 312
Plymouth, MA 02360
508-746-9491
508-746-9492 (Fax)

107 Audubon Road
Building 2, Suite 110
Wakefield, MA 01880
781-245-2500
781-245-6677 (Fax)

74 Elm Street
2nd Floor
Worcester, MA 01609
508-753-3077
508-753-3177 (Fax)

P. O. Box 590
Rindge, NH 03461
603-899-6726
603-899-6726 (Fax)

CATAUMET

PLYMOUTH

WAKEFIELD

WORCESTER

RINDGE, NH

- i. WPA Form 3 – Notice of Intent
- ii. WPA Appendix B – Wetland Fee Transmittal Form
- iii. Local Filing Fee Form
- iv. Copy of Filing Fees
- v. Legal Charge Authorization Form
- vi. Affidavit of Service
- vii. Letter to Abutters
- viii. Abutter Notification Form
- ix. Certified List of Abutters

Wetland Resource Area Analysis and Report

1.	Introduction	1
2.	Wetland Boundary Determination Methodology	1
2.1	Plant Species Identification	1
2.1.1	Identification of Wetland Indicator Species	2
2.1.2	Measurement of Relative Abundance	2
2.1.3	Measurement of Vegetative Distribution and Density	3
2.2	Evaluation of Edaphic Characteristics	3
2.2.1	General Soil Analysis	3
2.2.2	Soil Horizon Thickness and Depth	3
2.2.3	Soil Texture	4
2.2.4	Soil Color	4
2.2.5	Redoximorphic Features	4
3.	General Site Description	5
3.1	Floodplain Designation	5
3.2	Natural Heritage and Endangered Species Program Designation	5
4.	Wetland Resource Areas	6
4.1	Bordering Vegetated Wetland	6
5.	Proposed Addition and Wooden Deck	6
6.	Mitigating Measures	7
6.1	Erosion and Sedimentation Control	7
7.	Summary	7

Literature Cited

Appendix A

Locus Maps

Figure 1: USGS Topographic Quadrangle & NHESP Estimated Habitat Map

Figure 2: FEMA Flood Insurance Rate Map

Figure 3: MassGIS Orthophoto

Appendix B

Plot Plan prepared by Bowditch & Crandall, Inc., dated April 28, 2010



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Arlington
City/Town

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

6 Lawrence Lane

a. Street Address

Arlington

b. City/Town

02474

c. Zip Code

Latitude and Longitude:

108

f. Assessors Map/Plat Number

42.435225 W

d. Latitude

-71.173019

e. Longitude

Block 2, Lot 13

g. Parcel /Lot Number

2. Applicant:

Anthony & Anna

a. First Name

Colozzo

b. Last Name

(homeowners)

c. Organization

6 Lawrence Lane

d. Street Address

Arlington

e. City/Town

MA

f. State

02474

g. Zip Code

781-646-6002

h. Phone Number

i. Fax Number

j. Email Address

3. Property owner (required if different from applicant): ☐ Check if more than one owner

Same as Applicant

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Richard

a. First Name

Kirby

b. Last Name

LEC Environmental Consultants, Inc.

c. Company

107 Audubon Road, Building 2, Suite 110

d. Street Address

Wakefield

e. City/Town

MA

f. State

01880

g. Zip Code

781-245-2500

h. Phone Number

781-245-6677

i. Fax Number

rkirby@lecenvironmental.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$110.00

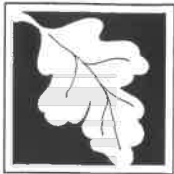
a. Total Fee Paid

\$42.50

b. State Fee Paid

\$67.50

c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Arlington

City/Town

A. General Information (continued)

6. General Project Description:

The Applicants propose to construct an addition and wooden deck to an existing single-family dwelling. The addition and deck will be constructed within existing lawn and an existing patio within the 100-foot Buffer Zone to Bordering Vegetated Wetlands. The addition and deck will be constructed at existing grade with minimal site grading (less than 1 foot) required to accommodate the addition and deck.

7a. Project Type Checklist:

- | | |
|---|---|
| 1. <input checked="" type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input type="checkbox"/> Limited Project Driveway Crossing | 4. <input type="checkbox"/> Commercial/Industrial |
| 5. <input type="checkbox"/> Dock/Pier | 6. <input type="checkbox"/> Utilities |
| 7. <input type="checkbox"/> Coastal Engineering Structure | 8. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) |
| 9. <input type="checkbox"/> Transportation | 10. <input type="checkbox"/> Other |

7b. Is any portion of the proposed activity eligible to be treated as a limited project subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. ☐ Yes ☒ No If yes, describe which limited project applies to this project:

2. Limited Project

8. Property recorded at the Registry of Deeds for:

Middlesex

a. County

12453

c. Book

n/a

b. Certificate # (if registered land)

278

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

1. ☒ Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
2. ☐ Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Arlington

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available)	
2. Width of Riverfront Area (check one):		
<input type="checkbox"/> 25 ft. - Designated Densely Developed Areas only		
<input type="checkbox"/> 100 ft. - New agricultural projects only		
<input type="checkbox"/> 200 ft. - All other projects		
3. Total area of Riverfront Area on the site of the proposed project:	square feet	
4. Proposed alteration of the Riverfront Area:		
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
5. Has an alternatives analysis been done and is it attached to this NOI?	<input type="checkbox"/> Yes <input type="checkbox"/> No	
6. Was the lot where the activity is proposed created prior to August 1, 1996?	<input type="checkbox"/> Yes <input type="checkbox"/> No	

3. ☐ Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Arlington

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings	b. number of replacement stream crossings

C. Other Applicable Standards and Requirements

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/priority_habitat/online_viewer.htm.

a. ☐ Yes ☒ No If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
Route 135, North Drive
Westborough, MA 01581

2008

b. Date of map



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Arlington

City/Town

C. Other Applicable Standards and Requirements (cont'd)

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.C, and include requested materials with this Notice of Intent (NOI); OR complete Section C.1.d, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

1. c. Submit Supplemental Information for Endangered Species Review*

1. ☐ Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

3. ☐ Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work ****

(a) ☐ Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) ☐ Photographs representative of the site

(c) ☐ MESA filing fee (fee information available at:
http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/ mesa/ mesa_fee_schedule.htm).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) ☐ Vegetation cover type map of site

(e) ☐ Project plans showing Priority & Estimated Habitat boundaries

d. OR Check One of the Following

1. ☐ Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/ mesa/ mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

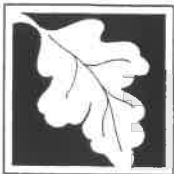
2. ☐ Separate MESA review ongoing.

a. NHESP Tracking #

b. Date submitted to NHESP

* Some projects not in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/dfwele/dfw/nhesp/nhesp.htm>, regulatory review tab). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Arlington

City/Town

C. Other Applicable Standards and Requirements (cont'd)

3. ☐ Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.
2. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. ☒ Not applicable – project is in inland [Buffer Zone] only

b. ☐ Yes ☐ No

If yes, include proof of mailing or hand delivery of NOI to either:

South Shore - Cohasset to Rhode
Island, and the Cape & Islands:

North Shore - Hull to New Hampshire:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
1213 Purchase Street – 3rd Floor
New Bedford, MA 02740-6694

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

3. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?

a. ☐ Yes ☒ No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.

b. ACEC

4. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?

a. ☐ Yes ☒ No

5. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?

a. ☐ Yes ☒ No

6. Is this project subject to provisions of the MassDEP Stormwater Management Standards?

a. ☐ Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:

1. ☐ Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)

2. ☐ A portion of the site constitutes redevelopment

3. ☐ Proprietary BMPs are included in the Stormwater Management System.

b. ☒ No. Check why the project is exempt:

1. ☒ Single-family house

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Arlington

City/Town

C. Other Applicable Standards and Requirements (cont'd)

2. ☐ Emergency road repair
3. ☐ Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. ☒ USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. ☒ Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.
3. ☒ Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
4. ☐ List the titles and dates for all plans and other materials submitted with this NOI.

Plot Plan

a. Plan Title

Bowditch & Crandall, Inc.

b. Prepared By

Dated 4/28/10

d. Final Revision Date

John W. McEachern

c. Signed and Stamped by

1" = 20'

e. Scale

f. Additional Plan or Document Title

g. Date

5. ☐ If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. ☐ Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. ☐ Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. ☒ Attach NOI Wetland Fee Transmittal Form
9. ☐ Attach Stormwater Report, if needed.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Arlington

City/Town

E. Fees

1. ☐ Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

1212 (and 1213 for \$100 bylaw fee)

5-1-10

2. Municipal Check Number

3. Check date

1211

5-1-10

4. State Check Number

5. Check date

Anthony & Anna

Colozzo

6. Payor name on check: First Name

7. Payor name on check: Last Name

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

Anthony Colozzo

1. Signature of Applicant

5-1-2010

2. Date

Anthony Colozzo

3. Signature of Property Owner, (if different)

5-1-2010

4. Date

5. Signature of Representative (if any)

5-6-10

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important:
When filling out
forms on the
computer, use
only the tab key
to move your
cursor - do not
use the return
key.



To calculate
filing fees, refer
to the category
fee list and
examples in the
instructions for
filling out WPA
Form 3 (Notice of
Intent).

A. Applicant Information

1. Applicant:

Anthony & Anna

Colozzo

a. First Name

b. Last Name

(homeowners)

c. Organization

6 Lawrence Lane

d. Mailing Address

Arlington

MA

02474

e. City/Town

f. State

g. Zip Code

781-646-6002

h. Phone Number

i. Fax Number

j. Email Address

2. Property Owner (if different):

(Same as Applicant)

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

3. Project Location:

6 Lawrence Lane

a. Street Address

Arlington

b. City/Town

B. Fees

The fee should be calculated using the following six-step process and worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
1a: work associated with a single-family dwelling	1	\$110.00	\$110.00

Step 5/Total Project Fee:

Step 6/Fee Payments:

Total Project Fee:	\$110.00
State share of filing Fee:	\$42.50
City/Town share of filing Fee:	\$67.50 (+ \$100.00 bylaw fee)
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
Box 4062
Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

APPENDIX 3

NOTICE OF INTENT BYLAW FILING FEES and TRANSMITTAL FORM

Rules:

1. Fees are payable at the time of filing the application and are non-refundable.
2. Fees shall be calculated per schedule below.
3. Town, County, State, and Federal Projects are exempt from fees.
4. Failure to comply with the law after official notification shall result in fees twice those normally assessed.
5. These fees are in addition to the fees paid under M.G.L. Ch. 131, s.40 (ACT).

Fee Schedule:

<u>\$</u>	<u>NO./Area</u>	<u>Category</u>
<u>100.00</u>	<u>1</u>	<u>Minor project</u> - \$100 (house addition, tennis court, swimming pool, utility work, etc.)
<u> </u>	<u> </u>	<u>Maintenance activity</u> - \$100 Work in, on or affecting any body of water, wetland or floodplain.
<u> </u>	<u> </u>	<u>Single Family Dwelling</u> - \$400
<u> </u>	<u> </u>	<u>Subdivisions road and utilities only.</u> \$400 + \$2/l.f. feet of roadway sideline within 100 ft. of wetlands or within land subject to flooding.
<u> </u>	<u> </u>	<u>Multiple dwelling structures.</u> \$400 + \$100 per unit all of part of which lies within 100 feet of wetlands or within land subject to flooding.
<u> </u>	<u> </u>	<u>Commercial, industrial, and institutional projects:</u> \$500 + 50¢/s.f. wetland disturbed; 2¢/s.f. land subject to flooding; 100 s.f. buffer disturbed.)
<u> </u>	<u> </u>	<u>Extensions</u> a. Single family dwelling or minor project - \$100.
<u> </u>	<u> </u>	b. Other - \$150.
<u> </u>	<u> </u>	<u>Refilings</u> of previously denied projects within 3 years. Original fee or \$1,000 whichever is less.
<u> </u>	<u> </u>	<u>Amendments</u> \$300 or 50% of original filing fee, whichever is less
<u> </u>	<u> </u>	<u>Consultant Fee</u> Refer to Bylaw for fee structure.
<u>\$ 100.00</u>	<u>TOTAL</u>	

Note: Submit this form along with the forms submitted for the ACT - the "Wetlands Filing Fee Calculations Worksheet," and the "Notice of Intent Fee Transmittal Form."

APPENDIX 6

LEGAL NOTICE CHARGE AUTHORIZATION

DATE:

TO: BEACON COMMUNITY NEWSPAPERS
LEGAL NOTICE DEPARTMENT
FAX NO. (781) 453-6650

I hereby authorize Beacon Community Newspapers to bill me directly for the legal notice to
be published in the Arlington Advocate newspaper on _____ for a public
hearing with the Arlington Conservation Commission to review a project at the following
location:

Thank you.

Signed:

Anna M. Colozzo

Send bill to:

*Anthony + Anna M. Colozzo
6 Lawrence Lane
Arlington, MA 02474-1511
Phone: 781-799-8695*


AFFIDAVIT OF SERVICE

Under the Massachusetts Wetlands Protection Act
and the
Town of Arlington *Wetlands Protection Bylaw*
(Article 8)

I, Sharon A. Sullivan, on behalf of Anthony & Anna Colozzo, hereby certify under the pains and penalties of perjury that on May 6, 2010 I gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40 and 310 CMR 10.05 (4) (a), and the Town of Arlington Wetlands Protection Bylaw (Article 8) in connection with the following matter:

A Notice of Intent filed under the Massachusetts Wetlands Protection Act and the Town of Arlington Wetlands Protection Bylaw (Article 8) by LEC Environmental Consultants, Inc. on behalf of the Applicants, Anthony & Anna Colozzo, with the Town of Arlington Conservation Commission on May 6, 2010 for property located at 6 Lawrence Lane (Assessor's Map 108, Block 2, Lot 13) in Arlington, Massachusetts.

The form of notification, and a list of the abutters to whom it was given and their addresses, are attached to this Affidavit of Service.


Sharon A. Sullivan
Office Administrator

5-6-10
Date

May 6, 2010

CERTIFIED MAIL

«Name»

«Name2»

«Address»

«City», «State» «Zip»

**Re: Notice of Intent Application
6 Lawrence Lane
Assessor's Map 108, Block 2, Lot 13
Arlington, Massachusetts**

[LEC File #: CoITV10-108.02]

Dear Abutter:

On behalf of the Applicants, Anthony and Anna Colozzo, LEC Environmental Consultants, Inc. (LEC) has filed a Notice of Intent (NOI) Application with the Arlington Conservation Commission for the construction of an addition and wooden deck at 6 Lawrence Lane in Arlington, Massachusetts. Portions of the proposed activities are located within the Buffer Zone to Bordering Vegetated Wetlands (BVW). The Applicants propose to implement erosion controls to minimize the potential for impacts to the BVW and protect the interests identified in the *Massachusetts Wetlands Protection Act* (M.G.L. c. 131, s. 40), its implementing Regulations (310 CMR 10.00), the *Town of Arlington Wetlands Protection By-Law* (Article 8), and its *Wetlands Protection Regulations*.

The *NOI Application* and accompanying site plans are available for review by the public at the Arlington Conservation Commission. The Public Hearing will be held at the Arlington Town Hall Annex, 730 Massachusetts Avenue, DPW Conference Room, 2nd Floor, on May 20, 2010, at 7:45 p.m. in accordance with the provisions of the *Massachusetts Wetlands Protection Act* (M.G.L. Ch. 131, s. 40, as amended), its implementing Regulations (310CMR 10.00), and the *Town of Arlington Wetlands Protection Bylaw* (Article 8). Further information regarding this application will be published at least five (5) days in advance in the *Arlington Advocate*. Notice of the Public Hearing will also be posted at the Arlington Town Hall at least 48 hours in advance.

Please do not hesitate to review the materials and/or attend the public hearing should you have questions or concerns about the proposed project.

Sincerely,

LEC Environmental Consultants, Inc.

Richard A. Kirby
Senior Wetland Scientist

enclosure

Notification to Abutters Under the
Massachusetts Wetlands Protection Act
and the
Town of Arlington *Wetlands Protection Bylaw*
(Article 8)

In accordance with the second paragraph of the Massachusetts General Laws Chapter 131, Section 40 and the Town of Arlington Wetlands Protection Bylaw (Article 8), you are hereby notified of the following:

- A. The names of the Applicants are Anthony & Anna Colozzo, 6 Lawrence Lane, Arlington, MA 02474.
- B. The Applicants have filed a Notice of Intent with the Conservation Commission for the municipality of Arlington, Massachusetts seeking permission to remove, fill, dredge or alter an Area Subject to Protection Under the Wetlands Protection Act (General Laws Chapter 131, Section 40) and the Town of Arlington Wetlands Protection Bylaw (Article 8).
- C. The address of the lot where the activity is proposed is 6 Lawrence Lane (Assessor's Map 108, Block 2, Lot 13) Arlington, Massachusetts.
- D. Copies of the Notice of Intent may be examined by contacting the Arlington Conservation Commission at (781) 316-3012 between the hours of 8:30 a.m. and 12:00 p.m., Monday, Wednesday, Thursday, and Friday.

For more information, call: LEC Environmental Consultants, Inc. (the applicants' representative) at (781) 245-2500.
- E. Copies of the Notice of Intent may be obtained from LEC Environmental Consultants, Inc. (the applicant's representative) by calling (781) 245-2500 between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday. A fee will be charged for each copy requested.
- F. Information regarding the public hearing may be obtained from the Arlington Conservation Commission (the regulatory agency) by calling (781) 316-3012 between the hours of 8:30 a.m. and 12:00 p.m., Monday, Wednesday, Thursday, and Friday.

NOTE: Notice of the Public Hearing, including its date, time, and place, will be published at least five (5) days in advance in the Arlington Advocate.

NOTE: Notice of the public hearing will also be posted at the Arlington Town Hall not less than 48 hours in advance.

NOTE: You also may contact the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call:

Central Region: 508-792-7650

Northeast Region: 978-694-3200

Southeast Region: 508-946-2800

Western Region: 413-784-1100

List of Abutters

[See attached list]

28 CLYDE TERR 8.0-2-1.0 MINNITI FRANK/ETAL MINNITI ELAINE 28 CLYDE TERRACE ARLINGTON, MA 02474	24 CLYDE TERR 8.0-2-2.0 SARI-SARRAF FARID PINHEIRO BLOSSOM A 24 CLYDE TERRACE ARLINGTON, MA 02474	7 LAWRENCE LN 8.0-2-3.0 KENNEDY THOMAS/ETAL 7 LAWRENCE LANE ARLINGTON, MA 02474	11 LAWRENCE LN 8.0-2-4.0 HAUGHTON DOMINIQUE--ETAL HAUGHTON JONATHAN 11 LAWRENCE LANE ARLINGTON, MA 02474
17 LAWRENCE LN 8.0-2-5.0 PETRI IRENE MARIA 17 LAWRENCE LANE ARLINGTON, MA 02474	14 LAWRENCE LN 8.0-2-11.A O'GRADY JOSEPH F & JANE R 14 LAWRENCE LANE ARLINGTON, MA 02474	10 LAWRENCE LN 8.0-2-12.0 HUGHES RICHARD A & ARLENE M 10 LAWRENCE LANE ARLINGTON, MA 02474	4 LAWRENCE LN 8.0-2-14.0 KEILEY GERARD L KEILEY ELLEN M 4 LAWRENCE LANE ARLINGTON, MA 02474
12 CLYDE TERR 8.0-2-15.0 PAPAGNI MARGARET MARY 12 CLYDE TERR ARLINGTON, MA 02474	8 CLYDE TERR 8.0-2-16.0 NAY JOHN B JR JOHNSON MICHAEL J 8 CLYDE TERR ARLINGTON, MA 02474	4 CLYDE TERR 8.0-2-17.0 HARRINGTON JEANNE M 4 CLYDE TERR ARLINGTON, MA 02474	LOT--- FOREST ST 8.0-2-19.0 TOWN OF ARLINGTON CON COM 730 MASS AVE ARLINGTON, MA 02476
LOT--- FOREST ST 8.0-2-20.0 TOWN OF ARLINGTON CON COM 730 MASS AVE ARLINGTON, MA 02476	LOT--- LAWRENCE LN 8.0-2-23.0 TOWN OF ARLINGTON CON COM 730 MASS AVE ARLINGTON, MA 02476		

I hereby certify that this list
has been prepared in accordance with
Chapter 40A, Sec 11 of MGL.

[Signature]
Board of Assessors
[Signature]
Chris A Fealy

4/27/10
Date



**Notice of Intent Application and
Wetland Resource Area Analysis**

6 Lawrence Lane
Assessor's Map 108, Block 2, Lot 13
Arlington, Massachusetts
May 6, 2010

1. Introduction

On behalf of the Applicants, Anthony and Anna Colozzo, LEC Environmental Consultants, Inc., (LEC) is filing the enclosed Notice of Intent (NOI) Application and *Wetland Resource Area Analysis* with the Arlington Conservation Commission to construct an addition and wooden deck at 6 Lawrence Lane in Arlington, Massachusetts. The proposed activities will occur within the 100-foot Buffer Zone to a Bordering Vegetated Wetland (BVW). As part of this filing, the Applicants propose to implement erosion controls to protect adjacent resource areas during construction and protect the interests identified in the *Massachusetts Wetlands Protection Act* (M.G.L. c. 131, s. 40), its implementing Regulations (310 CMR 10.00), the *Town of Arlington Wetlands Protection By-Law* (Article 8), and its *Wetlands Protection Regulations*. The existing conditions and proposed activities are depicted on the enclosed *Plot Plan* prepared by Bowditch & Crandall, Inc., dated April 28, 2010 (*Plot Plan*, Appendix B). No stormwater management is proposed as part of this project, as the increase in impervious area is less than 350 square feet, in accordance with *Article 15, Section 2* of the *Town of Arlington Regulations Upon the Use of Private Property* (Title V). The project conforms to the requirements enumerated in the pertinent statutes and regulations.

2. Wetland Boundary Determination Methodology

LEC conducted a site evaluation on April 28, 2010 to identify and characterize existing protectable Wetland Resource Areas located on or immediately adjacent to the site, and to demarcate the boundary of Bordering Vegetated Wetland (BVW). The extent of Wetland Resource Areas was determined through observations of existing plant communities and hydrologic indicators in accordance with the *Massachusetts Wetlands Protection Act* (M.G.L. c. 131, s. 40), its implementing Regulations (310 CMR 10.00), and the *Town of Arlington Wetlands Protection By-Law* (Article 8), and its *Wetlands Protection Regulations*.

Based on these methods, LEC determined that a Bordering Vegetated Wetland (BVW) is located immediately north of the subject property. The resource area boundary was delineated with blaze orange surveyor's tape with the words, "LEC Resource Area" printed in bold, black ink. LEC flagging stations 1 through 6 were survey located by Bowditch & Crandall, Inc., and are shown on the enclosed *Plot Plan* (Appendix B).

2.1 Plant Species Identification

LEC identified plant species comprising 5% or more of the vegetative cover along the BVW boundary. Identifications were made to the species level when morphologically possible and were used along with other hydrologic indicators to define the BVW boundary in accordance with definitions and criteria in 310 CMR 10.55(2).

2.1.1

Identification of Wetland Indicator Species

The regional wetland indicator status for all identified plant species was obtained from the classification system described in the *National List of Plant Species that Occur in Wetlands: Massachusetts* (Reed, 1988). This classification system divides plant species into ten categories and identifies the wetland indicator status based on the frequency of their occurrence in wetland habitat. These include, in order of lowest to highest frequency within wetlands:

Facultative Upland Minus (FACU-),
Facultative Upland (FACU),
Facultative Upland Plus (FACU+),
Facultative Minus (FAC-),
Facultative (FAC),
Facultative Plus (FAC+),
Facultative Wetland Minus (FACW-),
Facultative Wetland (FACW),
Facultative Wetland Plus (FACW+), and
Obligate (OBL).

Plant species with a FAC, FAC+, FACW-, FACW, FACW+, or OBL wetland indicator status occur in wetlands more than 50% of the time and are considered "wetland indicator plants." Plant species with a FAC-, FACU+, FACU, FACU- wetland indicator status, and those not contained within the list occur in wetlands less than 50% of the time, are not considered "wetland indicator plants." This system of classification has been adopted by the Department of Environmental Protection (DEP) as the definitive source regarding the indicator status of wetland plants.

2.1.2

Measurement of Relative Abundance

The relative abundance or percent cover of each plant species occurring along the BVW boundary was determined visually. When completing DEP BVW (310 CMR 10.55) Delineation Field Data Forms, midpoints were utilized to determine the percent cover of each plant species according to the following classification system: 3% = 1-5%; 10.5% = 6-15%; 20.5 = 16-25%; 38% = 26-50%; 63% = 51-75%; 85.5% = 76-95%; and 98% = 96-100%. The purpose of using midpoints is to reduce variability between wetland scientists when visually determining percent cover. Utilizing midpoints does not affect whether a given species within a sample layer will be a dominant plant and is recommended in DEP's handbook, *Delineating Bordering Vegetated Wetlands Under the Massachusetts Wetlands Protection Act*.

2.1.3 **Measurement of Vegetative Distribution and Density**

The relative pattern of plant distribution within each vegetative layer (canopy, sapling, shrub, lianas, and groundcover) was visually determined. Plant species within each layer were determined to occur as single plants, patches or clusters, entanglements, or as the dominant plant species. In addition, LEC observed the relative plant density between each vegetation layer, noting whether the sample layer is densely vegetated, contains moderately dense vegetation, is variably dense within the sample layer, or is sparsely vegetated.

2.2 **Evaluation of Edaphic (Soil) Characteristics**

2.2.1 **General Soil Analysis**

Prior to conducting the site evaluation, LEC reviewed United States Geologic Survey (USGS) Topographic Maps and United States Natural Resources Conservation Service (NRCS) Soil Survey Maps. The purpose of this review was to become familiar with the site's general soil characteristics. During site reconnaissance, LEC determined the approximate location of the BVW boundary and determined which areas along the BVW boundary would best represent the upland and wetland portions of the site. Using a Dutch-style, hand-held auger and/or spade, LEC investigated soil conditions within these representative areas by digging a test pit to a depth of at least 20 inches, or refusal. The purpose of this investigation was to confirm and document the difference in soil conditions between the wetland and adjacent upland areas. Specifically, LEC analyzed soil horizon thickness and depth, soil texture, and soil color, noting the presence or absence of redoximorphic features in accordance with *Delineating Bordering Vegetated Wetlands Under the Massachusetts Wetlands Protection Act* (March 1995) and *Field Indicators for Identifying Hydric Soils in New England* (April 2004).

2.2.2 **Soil Horizon Thickness and Depth**

LEC noted the presence of all soil layers and horizons (e.g. O, A, E, B, and/or C) and their relative thickness and depth within the test pit. The thickness of the O soil layer may be directly related to wetness, and is critical to the identification of a hydric soil. Specifically, histosols (organic soil layers measuring greater than 16 inches thick) and soils with a histic epipedon (an organic layer between 8 and 16 inches thick) always qualify as hydric soils, provided the hydrology that created these soil conditions still exists and has not been altered. Although not directly related to wetness, the thickness of the A or A_p horizons is a function of the depth of plowing (many of New England's forests today were historically agricultural fields) and/or a function of erosion and deposition of organic matter. Interpreting redoximorphic features within the A or A_p horizons can be difficult given their relatively dark color. Redoximorphic features are best observed in the soil layers beneath the A or A_p horizons.

2.2.3

Soil Texture

Soil texture refers to the relative proportions of sand, silt, and clay particles in the soil. Although there are several standard systems for determining soil texture, LEC utilized the United States Department of Agriculture (USDA) system, because it is widely accepted and referred to in the *Field Indicators* guide referenced above. Specifically, LEC identified whether the soil is classified as sand, loamy sand, sandy loam, loam, silt loam, silty clay loam, or clay. LEC also estimated the relative proportion of organic matter within the topsoil to determine if the soil is classified as an organic soil. Differences in soil texture affect how water moves through the soil and the type of hydrologic indicators that form when hydric conditions are present during the growing season.

2.2.4

Soil Color

Using the Munsell® Soil Color Charts, LEC examined the hue, value, and chroma of the different soil horizon matrixes (dominant soil color) and redoximorphic features present within the test pits. The purpose of examining the soil color within the A or A_p horizon is to determine whether these horizons are rich in organic material and meet the criteria for dark or very dark. This distinction refers to the relative amount of organic matter within the soil horizon and may indicate the presence of saturated conditions during the growing season.

Within the B and/or C horizons, the soil color and color patterns may indicate the movement of iron and/or other minerals within the soil. The movement and/or concentration of iron and other minerals, such as manganese, may indicate hydric conditions persist during the growing season. Specifically, a soil matrix color with a relatively low chroma (chroma 2 or less) and high value (value 4 or more) due to wetness is often defined as a depleted matrix - the iron and/or other minerals have been removed or depleted from the soil due to groundwater fluctuations, soil saturation, and reduction. A soil with a depleted matrix due to wetness within the upper 20 inches will likely constitute a hydric soil.

2.2.5

Redoximorphic Features

During the soil evaluation, LEC documented the presence or absence of redoximorphic features within the soil sample. Redoximorphic features are changes in soil color and/or texture that contrast from the matrix color and dominant soil texture and include redox depletions (formerly referred to as "low-chroma mottles"), redox concentrations (formerly referred to as "high-chroma mottles"), nodules, concretions, pore linings, and oxidized rhizospheres. Redoximorphic features form through the processes of reduction, translocation, and oxidation of Fe and Mn oxides when groundwater levels fluctuate near the soil surface. Commonly observed redoximorphic features include redox depletions, occurring when minerals in the soil are reduced or removed, and redox concentrations or soil masses, occurring when minerals accumulate. Less commonly observed redoximorphic features include nodules and concretions, which are hardened, cemented soil masses. Pore linings are

localized areas of brightly colored soils located adjacent to a pore within the soil. Oxidized rhizospheres are a form of pore lining that occurs on the surface of live roots of certain plants.

3. General Site Description

The 9,258 square foot property is located in a residential neighborhood northeast of Clyde Terrace, within the northern portion of Arlington, Massachusetts near the Winchester Town boundary. Single-family dwellings surround the subject property to the south, east, and west, while a forested wetland is located immediately to the north. The site contains an existing single-family dwelling and bituminous concrete driveway providing access to a 'drive-under' garage from Lawrence Lane. A brick paver patio is located off the rear of the dwelling, while concrete walkways occur south of and east of the dwelling. A wooden shed is contained within the northwest corner of the property. The remainder of the site is vegetated with lawn grass and landscape plantings, including several shade trees, and a vegetable garden is located within the northern portion of the site. Topography throughout the site descends northerly from Lawrence Lane toward the BVW boundary.

According to the Natural Resources Conservation Service (NRCS) Web Soil Survey, the southwestern portion of the site contains Charlton-Urban Land-Hollis complex, while the northwest portion contains Udorthents-wet substratum. LEC's soil observations along the BVW boundary using a hand-held, Dutch-style auger revealed that site soil conditions are generally consistent with the Udorthents soil unit. Specifically, LEC observed historic fill material underlain by an organic-laden topsoil. The observed soil profile within upland areas along the BVW boundary, and lack of hydric indicators in the upper part of the soil column, render these soils 'non-hydric' according to the *Field Indicators Guide*.

3.1 Floodplain Designation

Based on the June 4, 2010 *Federal Emergency Management Agency Flood Insurance Rate Map* for the Town of Arlington, Massachusetts (Community Panel #: 25017C0416E), the property occurs within Zone X [unshaded]: *Areas determined to be outside the 0.2% annual chance floodplain* (Appendix A, Figure 2).

3.2 Natural Heritage and Endangered Species Program Designation

According to the Lexington Quadrangle of the 2008 version of the *Massachusetts Natural Heritage Atlas* no areas of Estimated Habitat for Rare Wildlife or Certified Vernal Pools exist on the site (Appendix A, Figure 1).

4. Wetland Resource Areas

The Wetland Resource Areas associated with the site include a Bordering Vegetated Wetland (BVW). A description of the BVW and Bank is provided below.

4.1 Bordering Vegetated Wetland

Bordering Vegetative Wetlands (BVW) are freshwater wetlands which border on creeks, rivers, streams, ponds, and lakes where the soils are saturated and/or inundated such that they support a predominance of wetland indicator plants [310 CMR 10.55(2)(a)].

An open forested wetland is located immediately north of the subject property. The canopy contains scattered individuals of Norway maple (*Acer platanoides*) and willow (*Salix* sp.). The shrub layer is dominated by sapling Norway maple, with patches of Japanese knotweed (*Polygonum cuspidatum*), and individual tartarian honeysuckle (*Lonicera tatarica*) and multiflora rose (*Rosa multiflora*). The groundcover contains patches of jewelweed (*Impatiens capensis*), horsetail (*Equisetum* sp.), and sensitive fern (*Onoclea sensibilis*), with individual skunk cabbage (*Symplocarpus foetidus*).

Utilizing a Dutch-style auger, LEC inspected the soils within the wetland area, and observed an 18-inch thick, mucky loamy sand topsoil (A horizon) with a matrix color of 2.5Y 2.5/1. This A horizon is underlain by a depleted loamy sand, subsoil (Bg horizon) with a matrix color of 2.5Y 4/3 and 10YR 4/4 redoximorphic concentrations. LEC flagging stations 1 through 6 demarcate the BVW boundary associated with the site.

5. Proposed Addition and Wooden Deck

The Applicants propose to construct an addition and wooden deck off the rear of the dwelling and a covered porch off the front of the dwelling. The covered porch is situated beyond the 100-foot Buffer Zone. The addition will be constructed over an existing brick paver patio and lawn area, while the deck will be constructed over existing lawn. All construction will take place at existing grade with minimal (less than 1 foot) of site grading required. The proposed addition will measure no closer than 62 feet from the BVW boundary at its closest point, while the proposed deck will measure no closer than 51 feet from the BVW boundary at its closest point. No work is proposed within the 25-foot No Disturbance Zone. Under existing conditions, the site contains 2,730 square feet of impervious area. The proposed impervious area (including the addition and covered porch) will measure 2,918 square feet, resulting in a net increase of 188 square feet of impervious area. This increase, being less than 350 square feet, does not appear to trigger the Town's Stormwater Management requirements as described in Article 15, Section 2 of the *Town of Arlington Regulations Upon the Use of Private Property* (Tile V).

6. Mitigating Measures

6.1 Erosion and Sedimentation Control

The Applicants propose to implement an erosion control program to protect the adjacent wetlands from sedimentation during construction activities. The plan for the control of potential impacts to the adjacent Wetland Resource Areas is based on DEP guidelines, and will comprise of entrenched fabric filter fence. Erosion controls will be installed within the backyard area no closer than 25 feet from the BVW boundary. The silt fence will remain in place until construction is complete and all exposed soils are stabilized by vegetation.

7. Summary

On behalf of the Applicants, Anthony and Anna Colozzo, LEC is filing this NOI Application with the Arlington Conservation Commission to construct an addition and wooden deck off the rear façade of an existing single-family dwelling at 6 Lawrence Lane in Arlington, Massachusetts. The proposed addition and deck are situated at least 62 and 51 feet from the BVW boundary (respectively), and erosion controls will be established at the 25-foot No Disturbance Zone line. The project will result in a net increase of 188 square feet of impervious area, precluding the requirement for stormwater management in accordance with *Article 15, Section 2 of the Town of Arlington Regulations Upon the Use of Private Property* (Title V). The Applicants request that the Arlington Conservation Commission issue an Order of Conditions approving the proposed project in accordance with the *Massachusetts Wetlands Protection Act* (M.G.L., c.131, s.40), its implementing Regulations (310 CMR 10.00), and the *Town of Arlington Wetlands Protection By-Law* (Article 8), and its *Wetlands Protection Regulations*).

Boutiette, Jr., L.N. and C.L. Duerring. 1994. *Massachusetts Nonpoint Source Management Manual, "The Megamanual" A Guidance Document for Municipal Officials*. Massachusetts Department of Environmental Protection. Office of Watershed Management.

Massachusetts Wetlands Protection Act (M.G.L. c. 131, S. 40), www.state.ma.us/dep

Massachusetts Wetlands Protection Act Regulations (310 CMR 10.00), www.state.ma.us/dep

Arlington Conservation Commission, *Town of Arlington Wetlands Protection Bylaw and Regulations* (Article 8, Bylaw). Town of Arlington, Massachusetts.

Massachusetts Natural Heritage and Endangered Species Program Atlas of Estimated Habitat of State-listed Rare Wetlands Wildlife, Arlington and Concord Quadrangles. Natural Heritage & Endangered Species Program, Massachusetts Division of Fisheries & Wildlife, Route 135, Westborough, MA 01581, www.state.ma.us/dfwele/dfw

Massachusetts Department of Environmental Protection, Division of Wetlands and Waterways 1995. *Delineating Bordering Vegetated Wetlands Under the Massachusetts Wetlands Protection Act, A Handbook*. 89 pp.

National Flood Insurance Program, Federal Emergency Management Agency Flood Insurance Rate Map, Town of Arlington, Massachusetts, Middlesex County, June 4, 2010.

New England Hydric Soils Technical Committee. 2004, 3rd ed., *Field Indicators for Identifying Hydric Soils in New England*, New England Interstate Water Pollution Control Commission, Wilmington, MA. P. 76

Reed, P.B. 1988. *National List of Plant Species that Occur in Wetlands: 1988 Massachusetts*. U.S. Department of the Interior, Fish and Wildlife Service. NERC-88/18.21

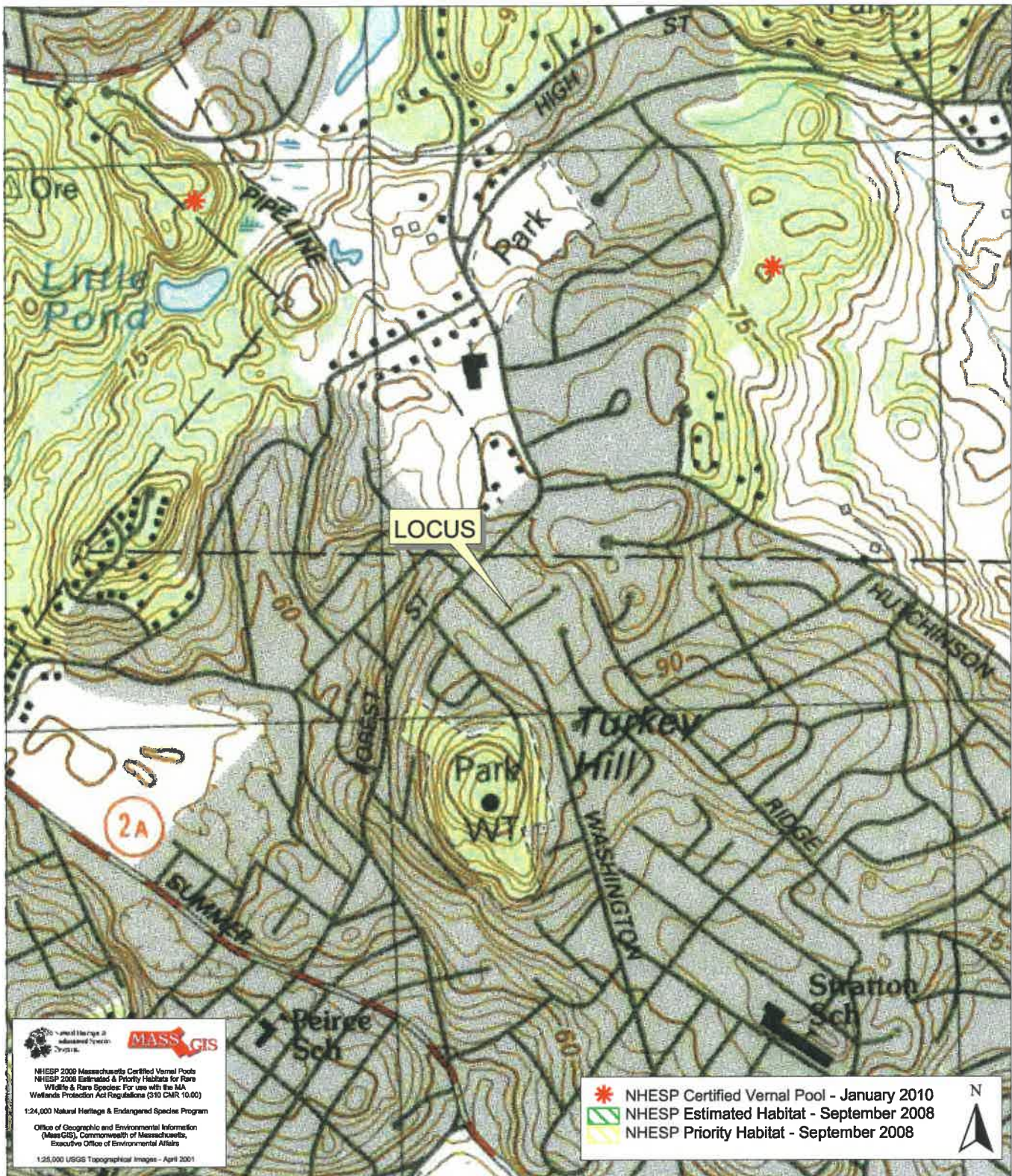
Appendix A

Locus Maps

Figure 1: USGS Topographic Quadrangle & NHESP Estimated Habitat Map

Figure 2: FEMA Flood Insurance Rate Map

Figure 3: MassGIS Orthophoto



LEC
 Environmental Consultants, Inc.
 107 Audubon Road
 Building 2, Suite 110
 Wakefield, MA 01880
 781.245.2500; 781.245.6677 Fax
 northlec@lecenvironmental.com
 www.lecenvironmental.com

6 Lawrence Lane
 Arlington, MA

Approximate Scale: 1" = 1,000'

Figure
 1



Town of Arlington, Massachusetts
Community Panel: 25017C0416 E
Map Revised: June 4, 2010

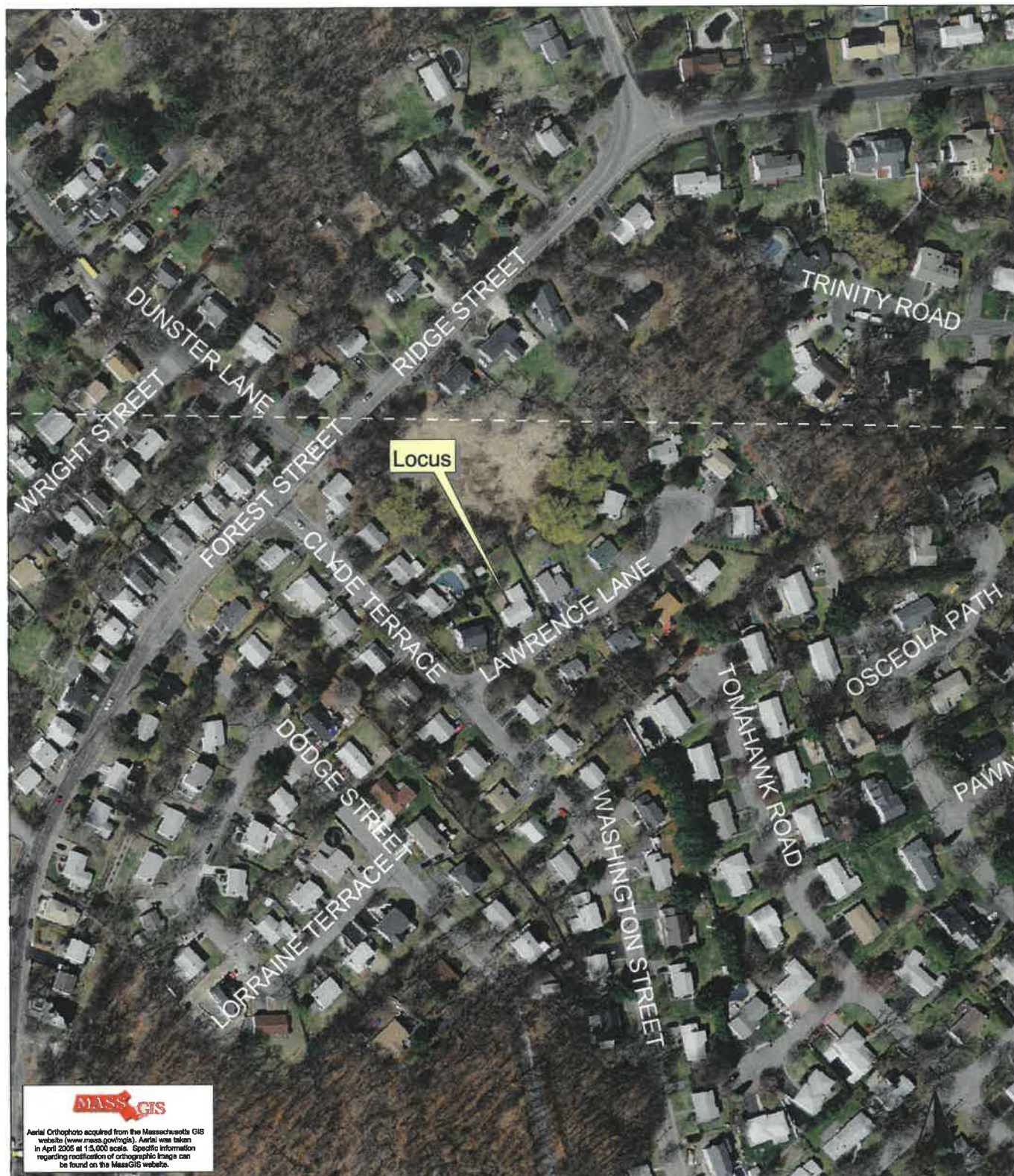
LEC
Environmental Consultants, Inc.
107 Audubon Road
Building 2, Suite 110
Wakefield, MA 01880
781.245.2500; 781.245.6677 Fax
northlec@lecenvironmental.com
www.lecenvironmental.com

6 Lawrence Lane
Arlington, MA

Approximate Scale: 1" = 1000'



Figure
2



LEC
 Environmental Consultants, Inc.
 107 Audubon Road
 Building 2, Suite 110
 Wakefield, MA 01880
 781.245.2500; 781.245.6677 Fax
northlec@lecenvironmental.com
www.lecenvironmental.com

6 Lawrence Lane
 Arlington, MA

Approximate Scale: 1" = 200'

Figure
 3

Appendix B

Plot Plan prepared by Bowditch & Crandall, Inc., dated April 28, 2010

EXISTING STRUCTURES COVERS 15% ± OF THE LOT
EXIST. + PROPOSED STRUCTURES COVERS 25± OF THE LOT

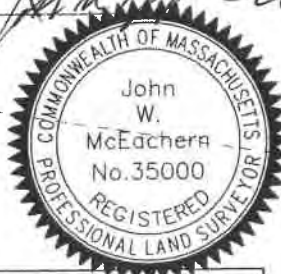
SETBACK REQUIREMENTS:
FRONT: 25'
SIDE: 10'
REAR: 20'

THIS PLAN IS NOT TO BE USED FOR
CONSTRUCTION. REFER TO DESIGNER'S
PLANS FOR CONSTRUCTION DETAILS.

EXISTING IMPERVIOUS: 2730 S.F. ±
PROPOSED IMPERVIOUS: 2918 S.F. ±
(DECK NOT INCLUDED)

I CERTIFY THAT THE INFORMATION SHOWN ON THIS PLAN IS BASED ON RECORD INFORMATION AND ON AN ACTUAL FIELD SURVEY AND IS CORRECT TO THE BEST OF MY KNOWLEDGE.

JOHN W. McEACHERN



10-028

Bowditch & Crandall, Inc.

54 Mystic St.
Arlington, Ma. 02474
781-641-9600

0 20 Feet

FIELD SURVEY: 4/28/2010

Plot Plan
6 Lawrence Lane
Arlington, Ma.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 8A – Request for Certificate of Compliance
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:
0910216
116719
Provided by DEP

A. Project Information

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Upon completion of the work authorized in an Order of Conditions, the property owner must request a Certificate of Compliance from the issuing authority stating that the work or portion of the work has been satisfactorily completed.

1. This request is being made by:

Arlington Conservation Commission

Name

730 Massachusetts Avenue

Mailing Address

Arlington

Ma

02476

City/Town

State

Zip Code

781-316-3012

Phone Number

2. This request is in reference to work regulated by a final Order of Conditions issued to:

Anthony & Anna Colozzo

Applicant

July 16, 2010

Dated

116719- 0910216

DEP File Number

3. The project site is located at:

6 Lawrence Lane

Street Address

108

Assessors Map/Plat Number

Arlington

City/Town

2/13

Parcel/Lot Number

4. The final Order of Conditions was recorded at the Registry of Deeds for:

Anthony & Anna Colozzo

Property Owner (if different)

Middlesex

County

116719

Certificate (if registered land)

54995

Book

282

Page

5. This request is for certification that (check one):

- ☒ the work regulated by the above-referenced Order of Conditions has been satisfactorily completed.
☒ the following portions of the work regulated by the above-referenced Order of Conditions have been satisfactorily completed (use additional paper if necessary).

- ☐ the above-referenced Order of Conditions has lapsed and is therefore no longer valid, and the work regulated by it was never started.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 8A – Request for Certificate of Compliance
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:
091-0216
146719
Provided by DEP

A. Project Information (cont.)

6. Did the Order of Conditions for this project, or the portion of the project subject to this request, contain an approval of any plans stamped by a registered professional engineer, architect, landscape architect, or land surveyor?

☒ Yes If yes, attach a written statement by such a professional certifying substantial compliance with the plans and describing what deviation, if any, exists from the plans approved in the Order.

☐ No

B. Submittal Requirements

Requests for Certificates of Compliance should be directed to the issuing authority that issued the final Order of Conditions (OOC). If the project received an OOC from the Conservation Commission, submit this request to that Commission. If the project was issued a Superseding Order of Conditions or was the subject of an Adjudicatory Hearing Final Decision, submit this request to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/find-the-massdep-regional-office-for-your-city-or-town.html>).



Proposal: Interior Remodel & Rear Addition

Owner: Tony & Anna Colozzo
6 Lawrence Lane
Arlington, MA 02474

Designer: David J. Villandry
Villandry Contracting, Inc.
91 R Mystic St.
Arlington, MA 02474
1-781-643-2186

Construction Supervisor's Lic. #069317
Home Improvement Contractor's Lic. #101269

Date: 06/10/10

PROPOSAL for EXTERIOR REMODELING



Villandry Contracting, Inc.
www.villandrycontracting.com
villandrycontracting@gmail.com
(781) 643-2186
All Phases of Designing,
Building & Remodeling

TABLE OF CONTENTS

Page 1.	Plot plan
Page 2.	Camera Existing Elevation Front Right.
Page 3.	Camera Existing Elevation Front Left.
Page 4.	Camera Existing Elevation Rear Left.
Page 5.	Camera New Elevation Front Right.
Page 6.	Camera New Elevation Rear Right.
Page 7.	Camera New Elevation Rear Left.
Page 8.	Camera New Elevation Front Left.
Page 9.	Existing 1 st Floor Plan.
Page 10.	Existing Basement Plan.
Page 11.	New 1 st Floor plan.
Page 12.	Dimensional Plan 1 st Floor.
Page 13.	New 1 st Floor Electrical Plan.
Page 14.	Camera 1 st Floor Top View Back to Front.
Page 15.	Camera 1 st Floor Top View Front to Back.
Page 16.	New Basement Floor Plan.
Page 17.	Dimensional Plan Basement Level.
Page 18.	Basement Electrical Plan.
Page 19.	Camera New Basement Top View.
Page 20.	Electrical Symbols Key.
Page 21.	1 st Floor Smoke & CO Detector Plans.
Page 22.	Basement Smoke & CO Detector Plans.
Page 23.	Foundation Plan Top View.
Page 24.	Deck Foundation Plan Top View.
Page 25.	Front Porch Foundation Plan.
Page 26.	I Joist Floor Span Tables.
Page 27.	Floor & Deck Framing Plans.
Page 28.	Detail A. Angled Cantilever Support Plan.
Page 29.	Floor Framing Plan For Front Porch.
Page 30.	Ceiling Framing For Addition.
Page 31.	Roof Framing Plans For Addition.
Page 32.	Roof Framing Plans For Front Porch.
Page 33.	Staircase Elevation & Headroom Plan.
Page 34.	Window Framing w. Flat Ceiling & Wall Insulation Plan.
Page 35.	Slider & Cathedral Ceiling, Wall, Floor Insulation Plan.
Page 36.	Window Schedule & Dimensional Plan.
Page 37.	Door Schedule & Dimensional Plan.
Page 38. – 44.	Energy Compliance Report.

DEED REFERENCE: BOOK 12453, PAGE 278
PLAN REFERENCE: BOOK 8353, PAGE 195

EXISTING STRUCTURES COVERS 15% ± OF THE LOT
EXIST. + PROPOSED STRUCTURES COVERS 25% ± OF THE LOT

ZONE: R1
SETBACK REQUIREMENTS:
FRONT: 25'
SIDE: 10'
REAR: 20'

LOT AREA
9258 S.F. ±

BORDERING
VEGETATED WETLAND
BOUNDARY

SILT FENCE
TO BE INSTALLED
ALONG THE
35-FOOT
NO DISTURBANCE
ZONE

EXIST. CONC. PAD
BASEMENT
ENTRANCE

PROPOSED
DECK

51.6'
(PROP. LINE
AND WETLAND)

SHED

EXISTING DWELLING
SHOWN AS DASHED LINE

64' (EXIST.)
TREE
TO BE
PRESERVED

PROPOSED
ADDITION
PATIO (325 S.F. ±)

35-FOOT
NO DISTURBANCE
ZONE

EXISTING IMPERVIOUS: 2730 S.F. ±
PROPOSED IMPERVIOUS: 2918 S.F. ±
(DECK NOT INCLUDED)

127.83'
N31°43'57"W

24.76'

S25°08'29"E
145.91'

PROPOSED
PORCH

6 LAWRENCE LANE

I CERTIFY THAT THE INFORMATION SHOWN ON THIS PLAN
IS BASED ON RECORD INFORMATION AND ON AN ACTUAL
FIELD SURVEY AND IS CORRECT TO THE BEST OF MY
KNOWLEDGE.



JOHN W. McEACHERN

6-3-2010

10-028

Bowditch & Crandall, Inc.

54 Mystic St.
Arlington, Ma. 02474
781-641-9600

Plot Plan
6 Lawrence Lane
Arlington, Ma.

0 20 Feet

FIELD SURVEY: 4/28/2010





EXISTING

71 of 150

3



EXISTING

72 of 150

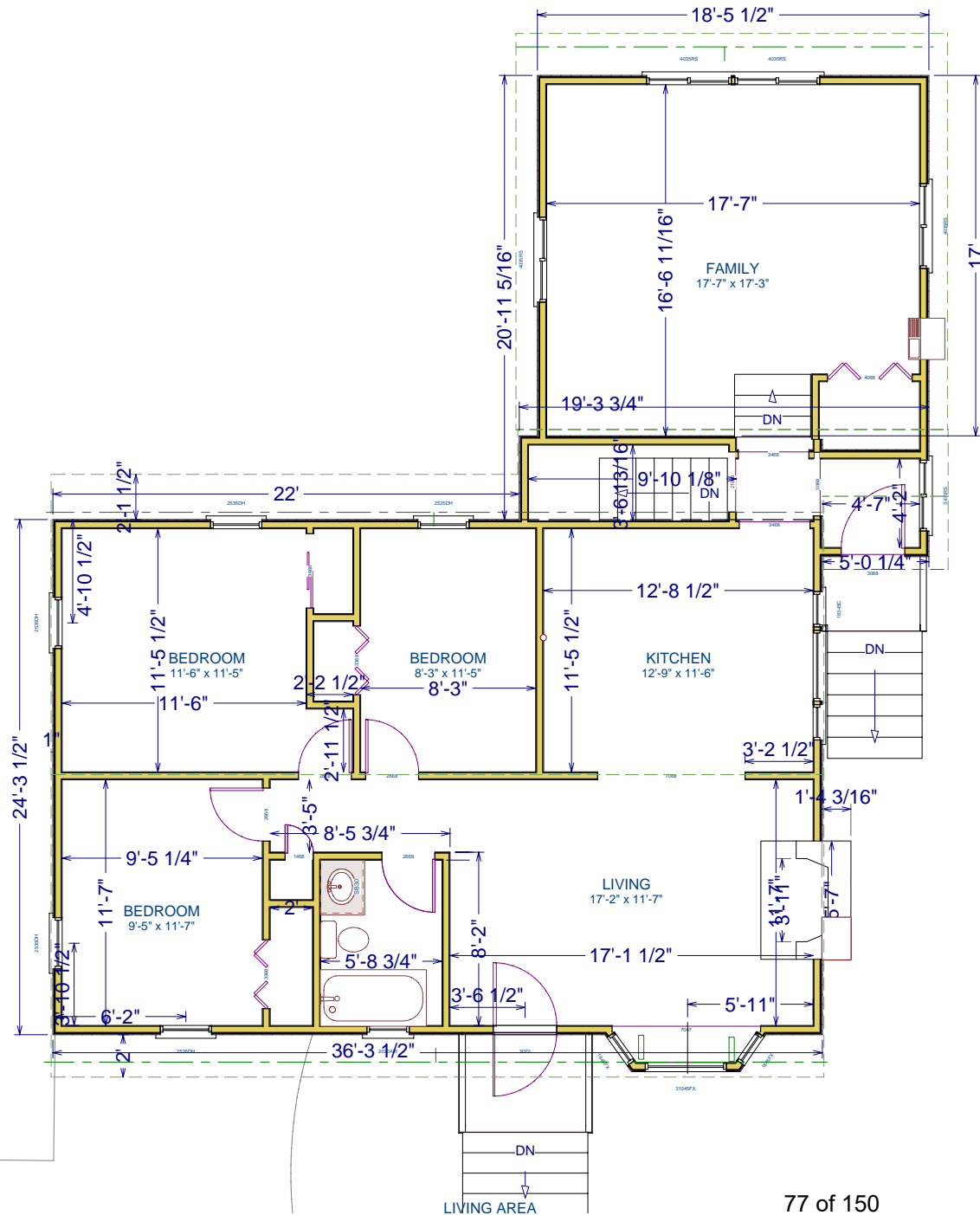
4









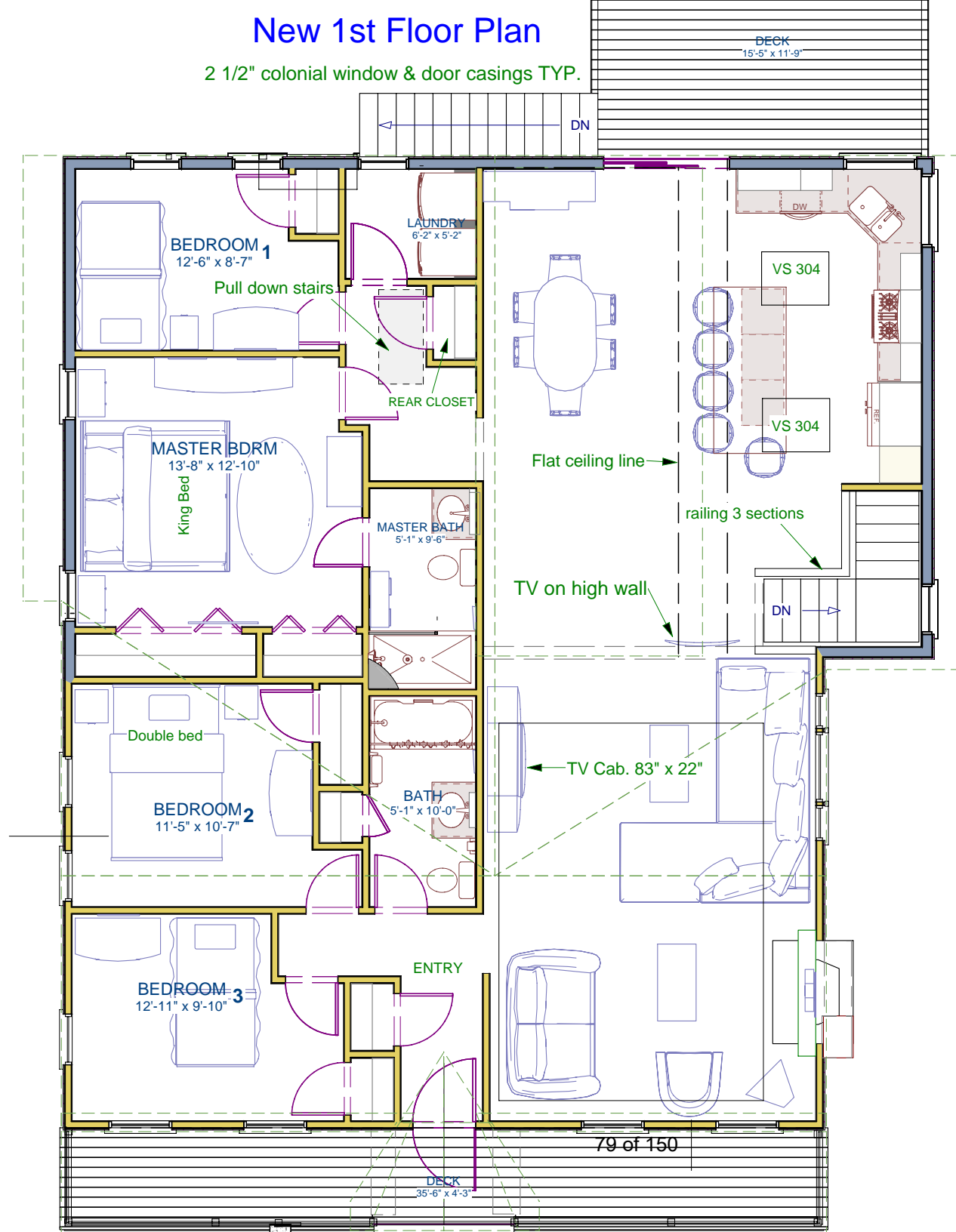


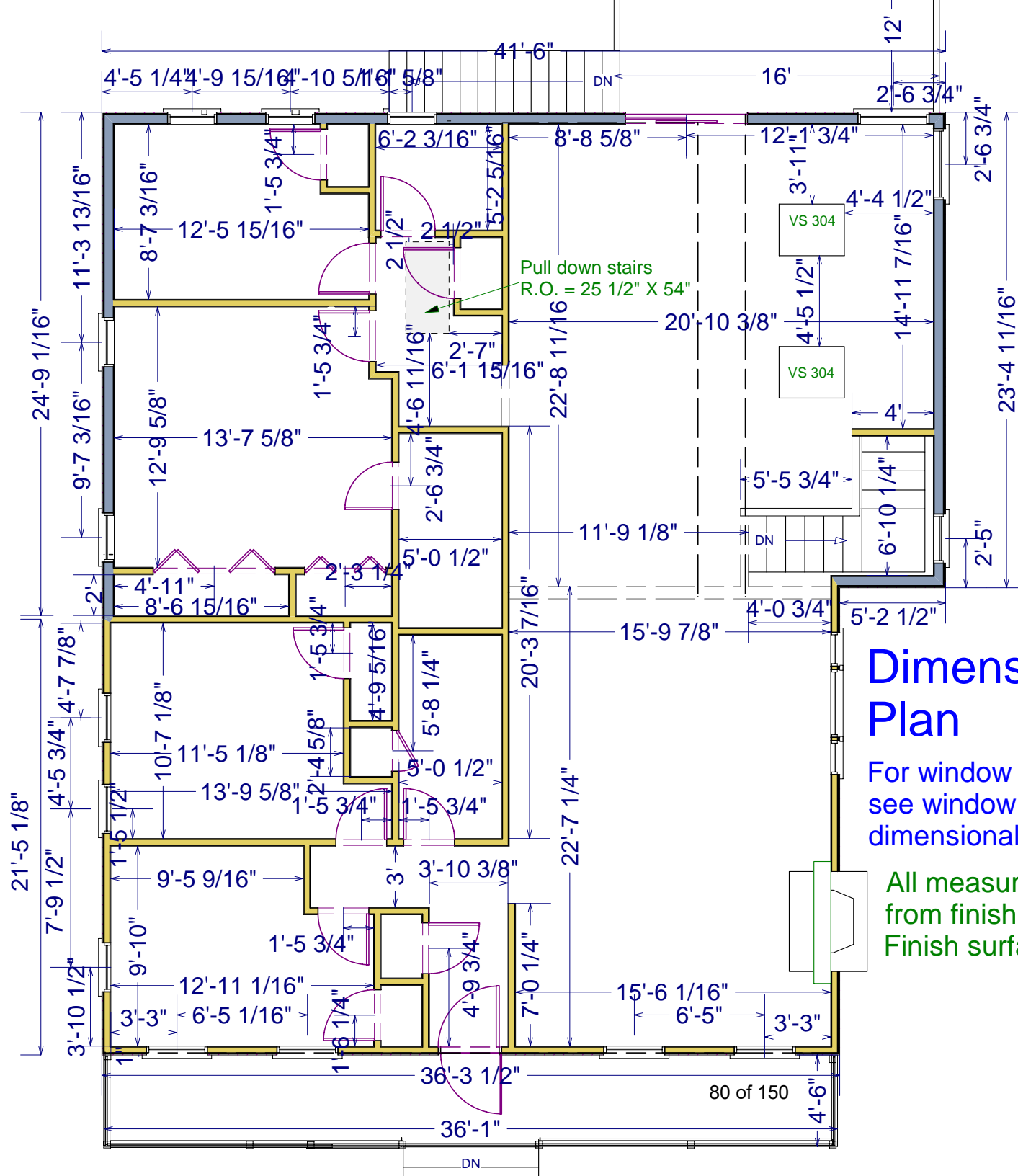


78 of 150

New 1st Floor Plan

2 1/2" colonial window & door casings TYP.



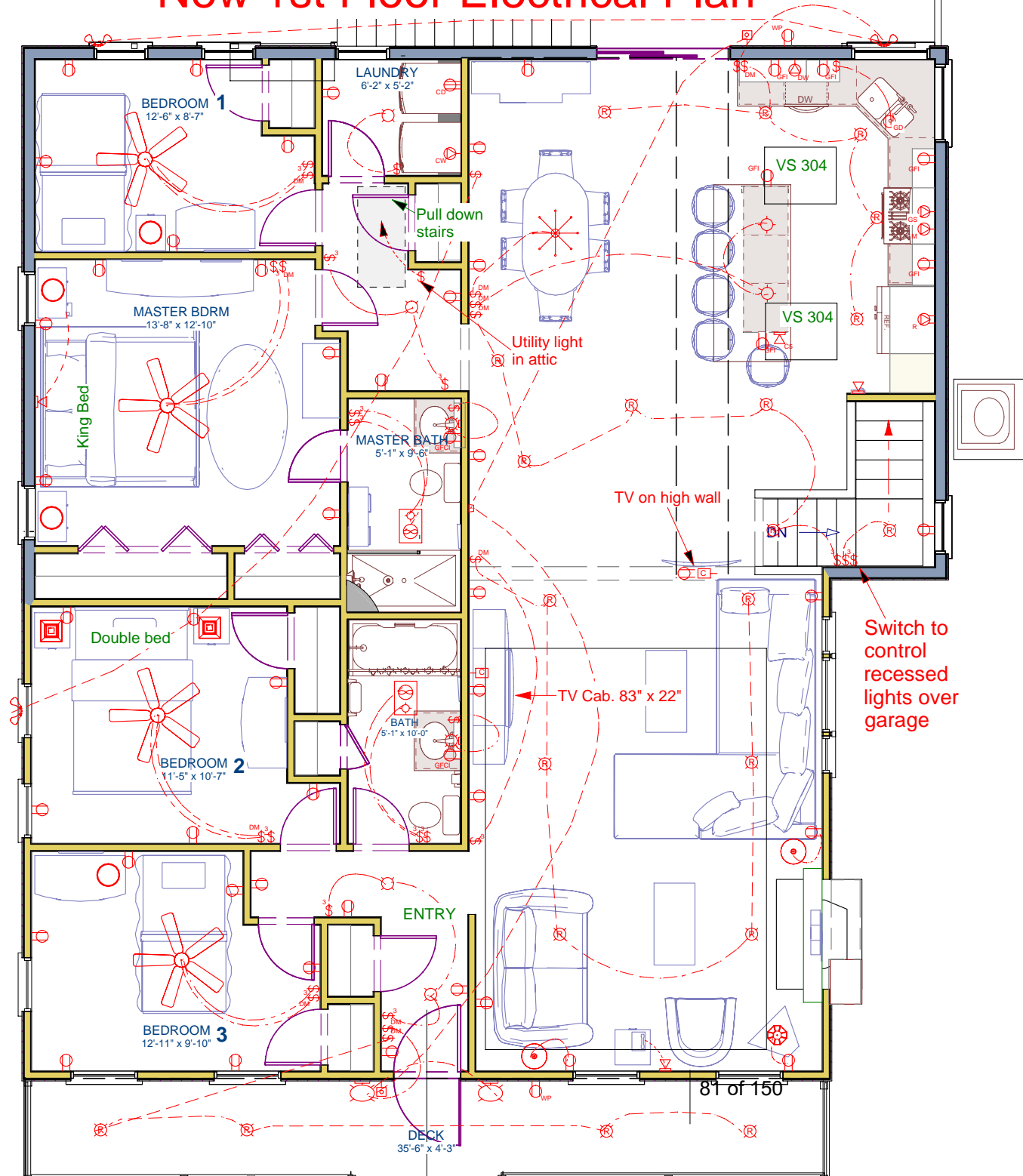


Dimensional Plan

For window locations
see window schedule &
dimensional plan

All measurements are
from finish surfaces.
Finish surface is 1/2"

New 1st Floor Electrical Plan







Garage: 16 ft. long, 19 ft. long. Foundation R.O. for 32" door is 38" wide. New floor is 14 1/2" lower than existing basement. 7 1/4" step up.

Entry: 9'-5" x 6'-3".

Bedroom: 9'-5" x 13'-1".

Bathroom: 5' x 11'-10".

Kitchen: 8'-4" x 11'-10".

Closets: 3'-0" x 2'-1", 9'-5" x 2'-0".

Other Features: New Direct Vent Furnace, Washer & dryer, Gas meter, 84 of 150.

Dimensions: 3'-6", 38'-0 3/4", 2'-6", 14'-2 1/4", 23'-2 1/2", 22', 21'-4", 22'-2", 3'-2 3/4", 26110, 40211LS, 4030LS, 9'-8 1/4", 4'-6", 4'-1 3/4", 5'-2 1/2", 9'-11 1/2", 10'-9 1/2", 24'-1 1/2", 8'-4", 7'-5", 1'-4 9/16", 5'-5", 10'-8 1/2", 36'-1", 1'-11", 8', 2615HO.

Annotations: Foundation R.O. for 32" door is 38" wide, Reuse existing windows when possible, New floor is 14 1/2" lower than existing basement, 7 1/4" step up, New Direct Vent Furnace, Washer & dryer, Gas meter, 84 of 150.

Room Labels: ENTRY, BEDROOM, CLOSET, CLOSET, REF, WASH, DRY, GAS METER, FURNACE, UP.

Room Numbers: 16.

Site determine garage door height.
Either 8 ft. or 7 ft. 6 in.

Garage door is 8' X 20'

See Detail A

Foundation R.O. for 32"
door is 38" wide

Foundation R.O. for 32" door is 38" wide

- Reuse existing windows when possible

New floor is 14 1/2" lower
than existing basement

New floor is 14 1/2" lower than existing basement

7 1/4" step up

New Direct Vent Furnace

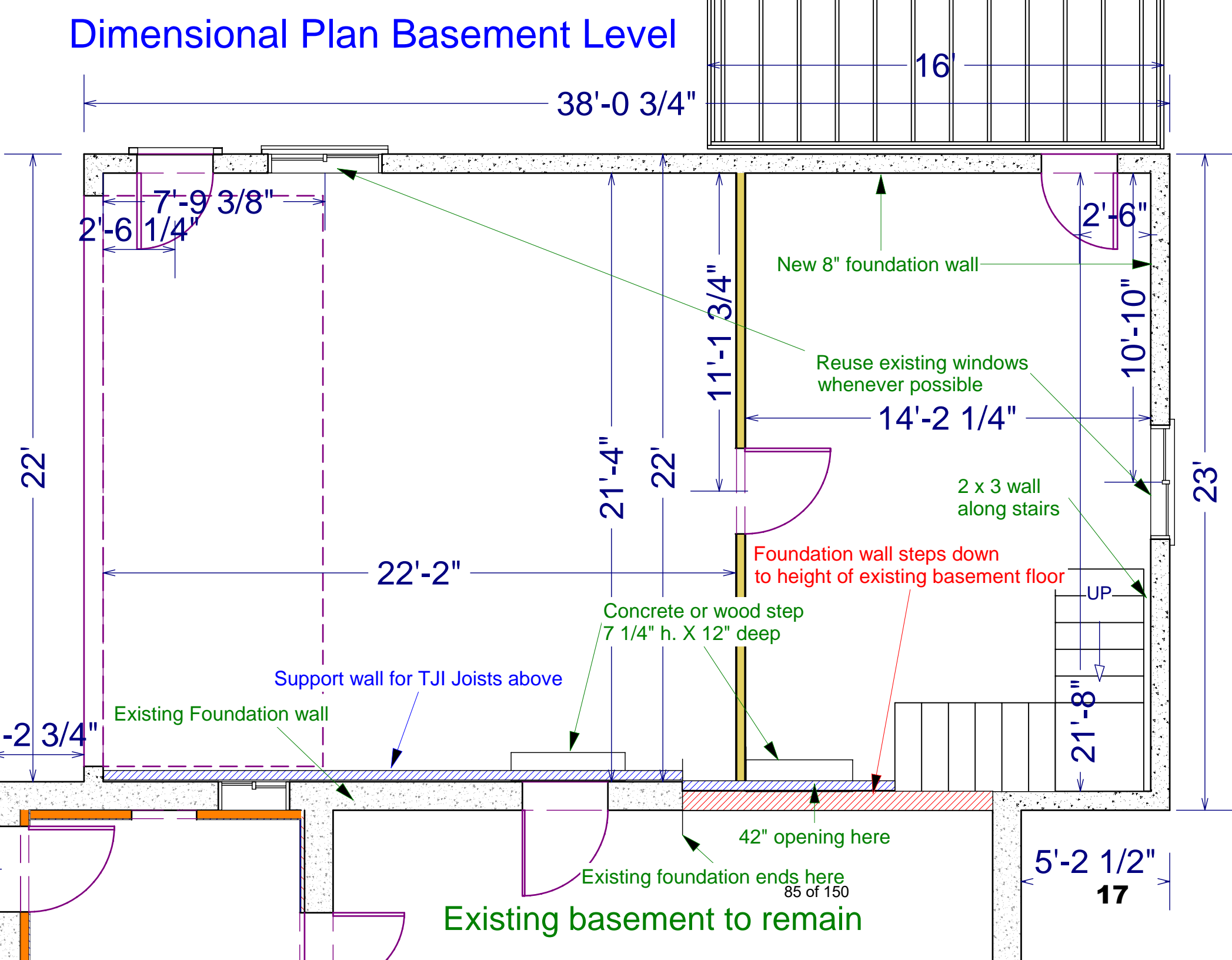
- Washer & dryer

Gas meter

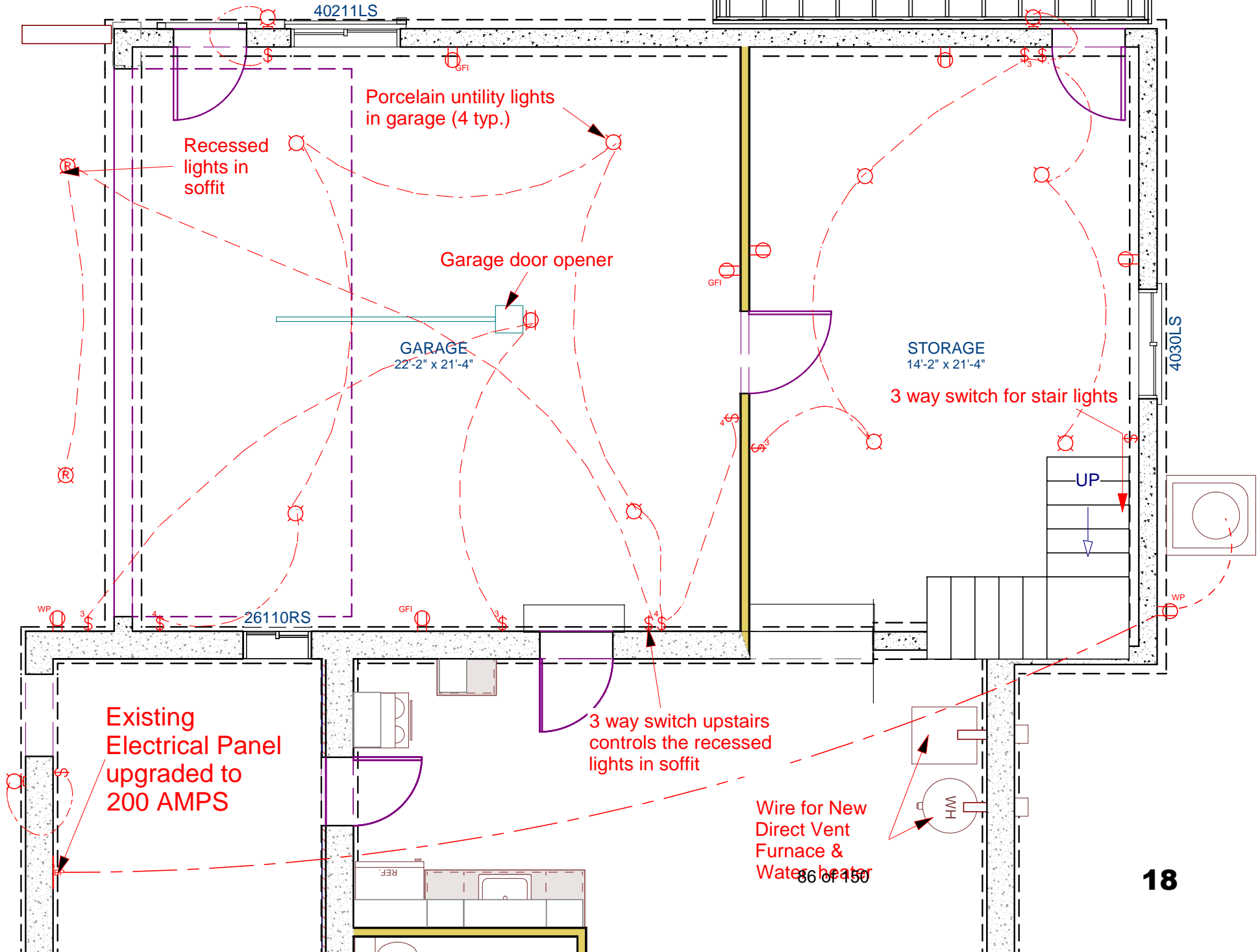
84 of 150

16

Dimensional Plan Basement Level

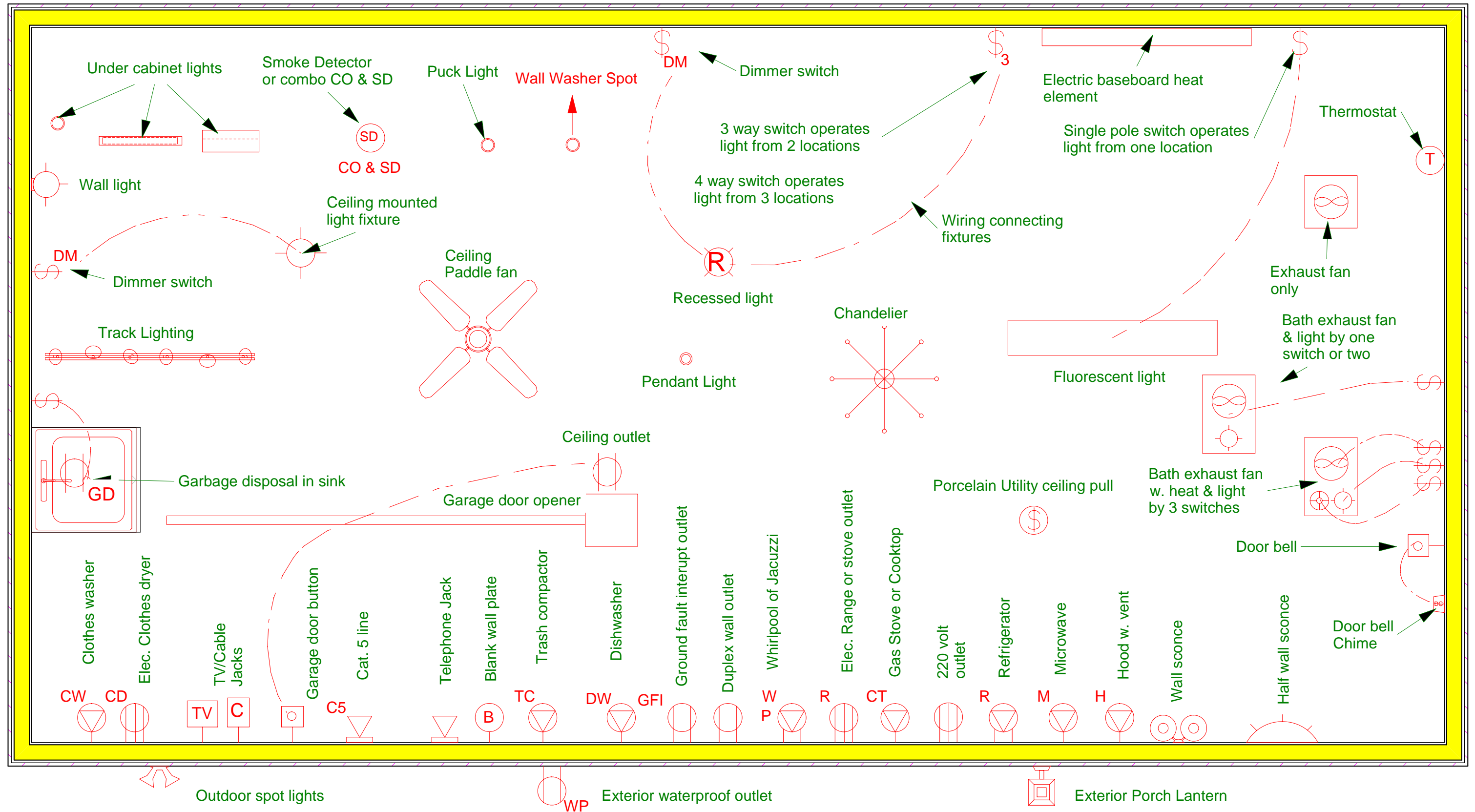


New Basement Electrical Plan

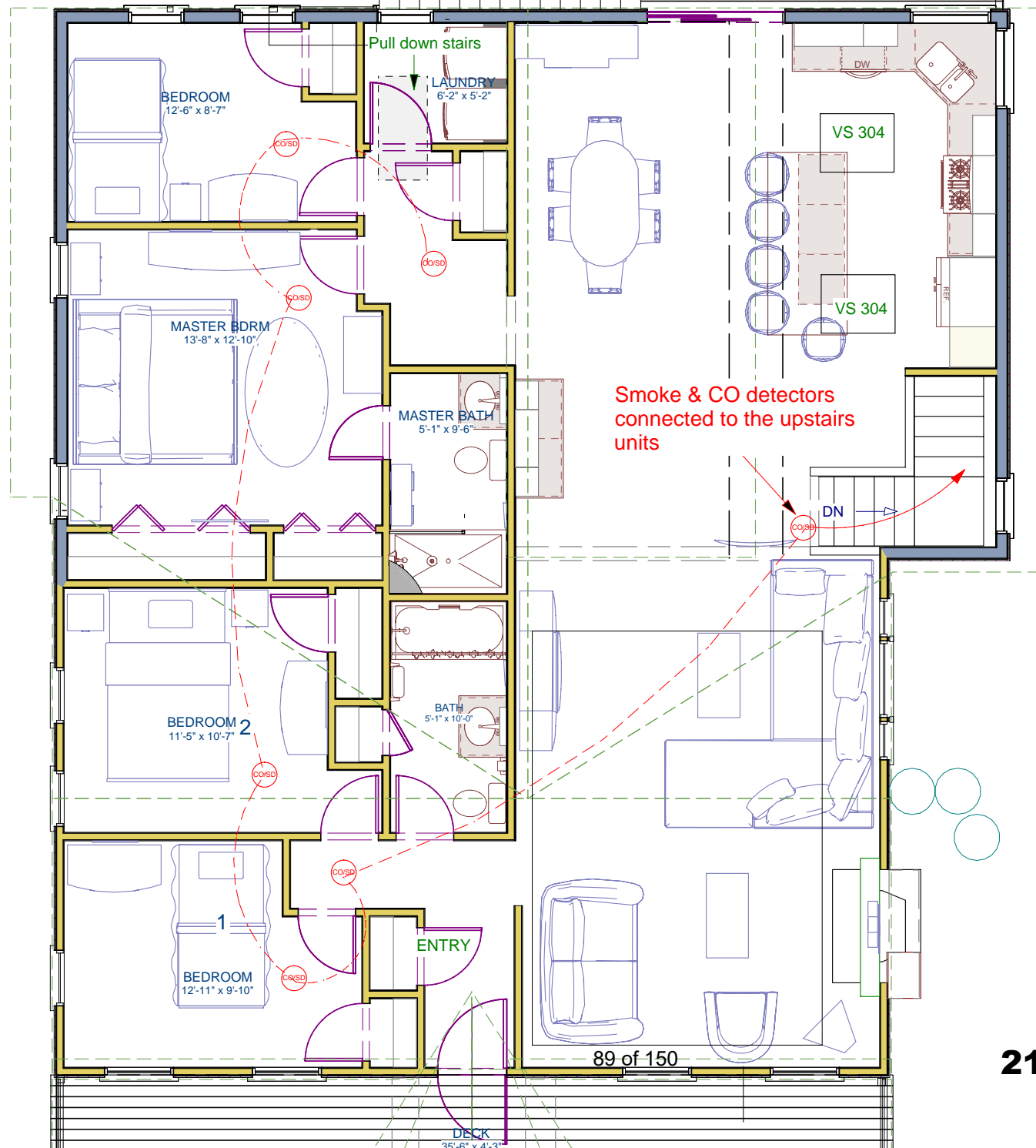




Symbols for Electrical Plan

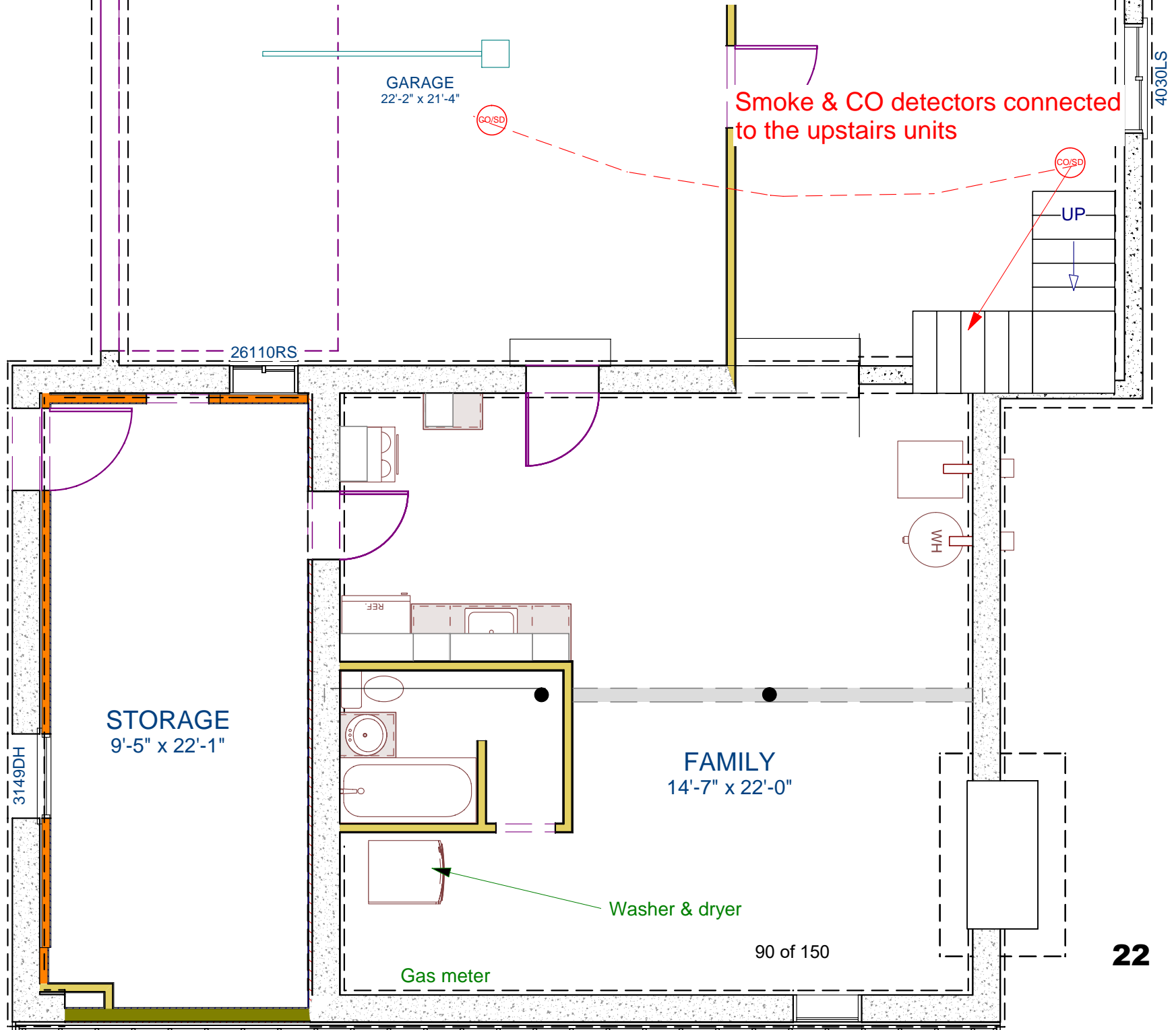


1st Floor Smoke & CO Plan

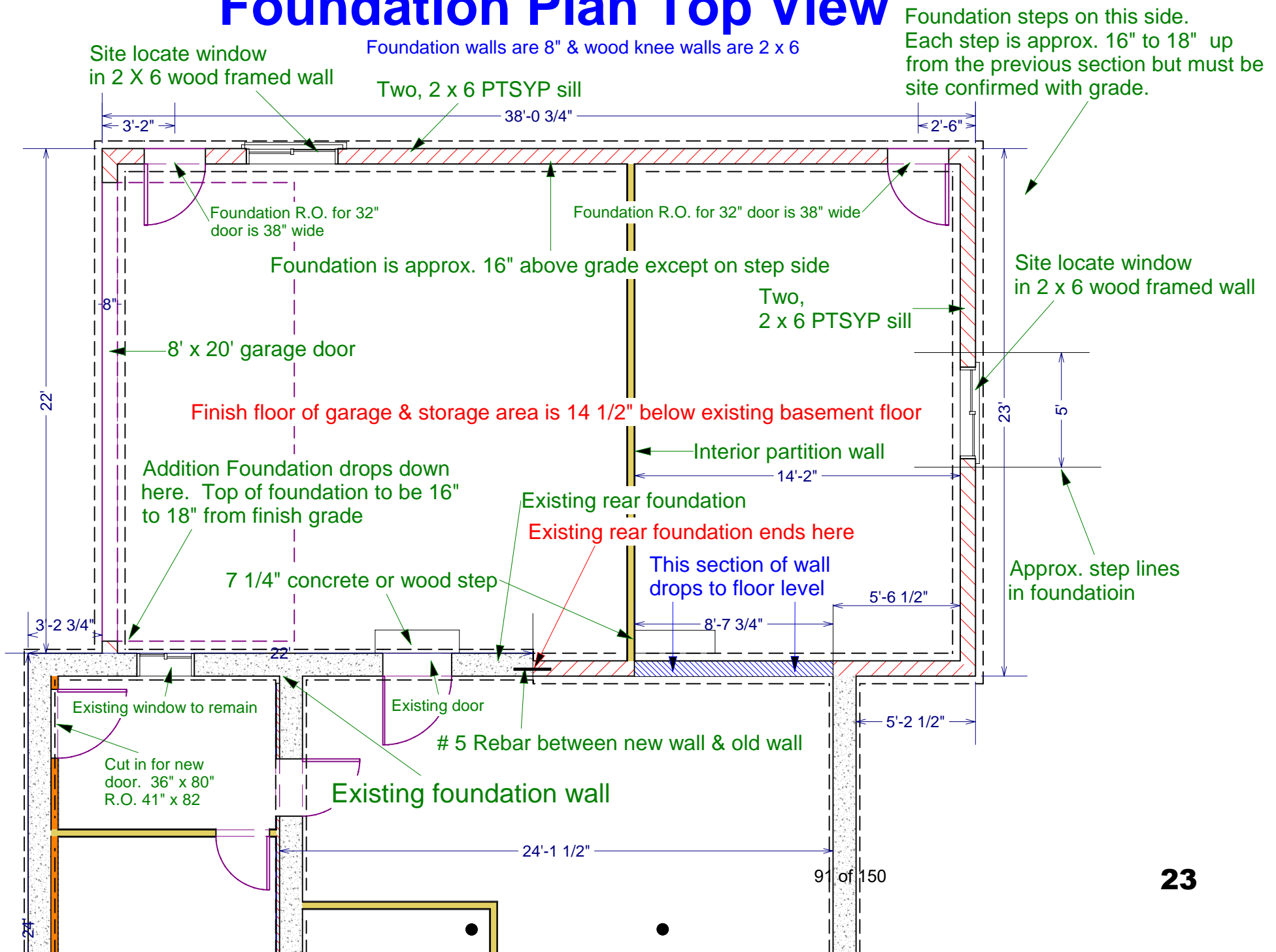


Smoke & CO detectors
connected to the upstairs
units

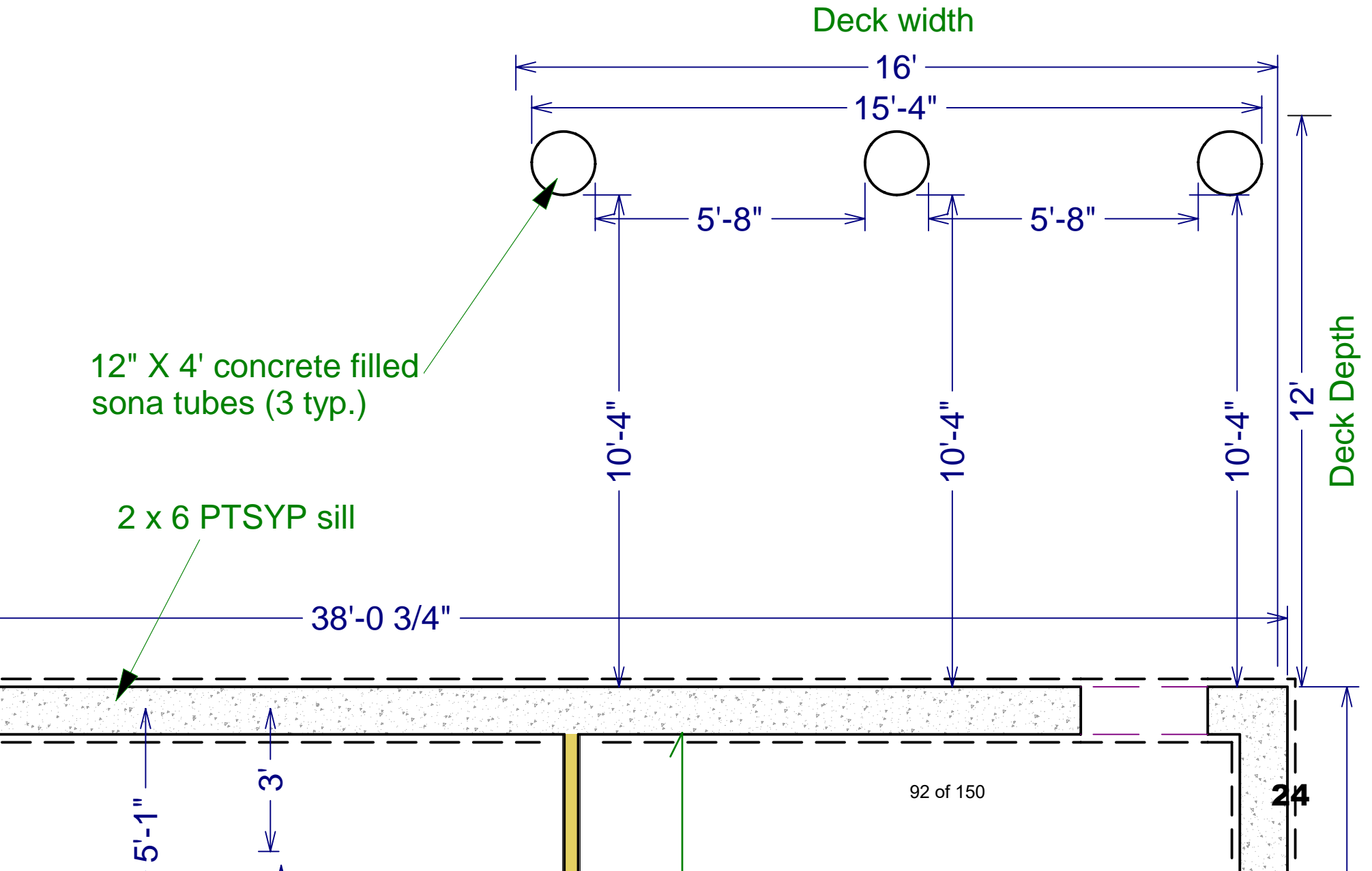
New Basement Smoke & CO Plan

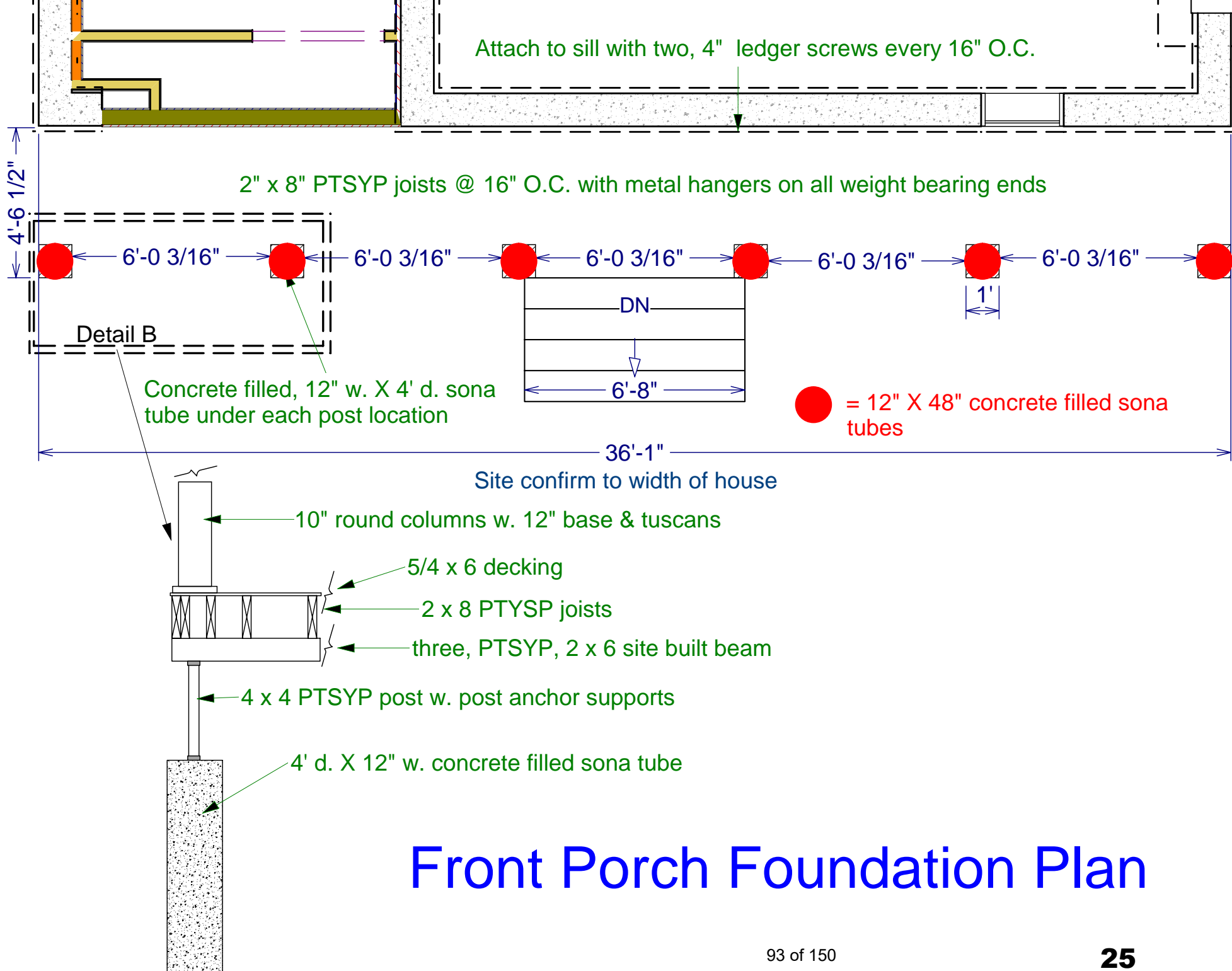


Foundation Plan Top View



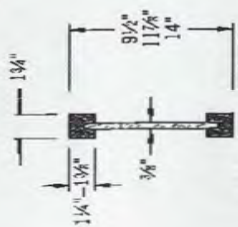
Deck Foundation Plan



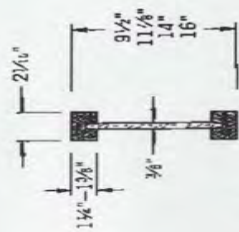


FLOOR SPAN TABLES

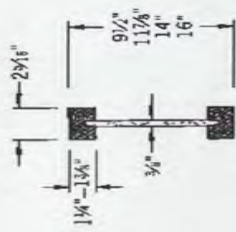
Some *TJI®* joist series may not be available in your region. Contact your *iLevel* representative for information.



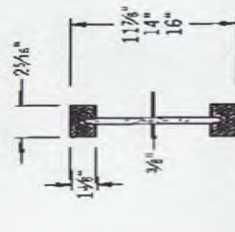
TJI® 110 Joists



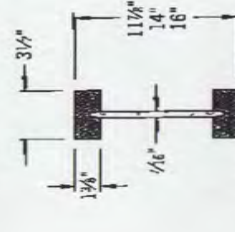
TJI® 210 Joists



TJI® 230 Joists



TJI® 360 Joists



TJI® 560 Joists

L/480 Live Load Deflection

Depth	40 PSF Live Load / 10 PSF Dead Load			40 PSF Live Load / 20 PSF Dead Load		
	12" o.c.	16" o.c.	19.2" o.c.	12" o.c.	16" o.c.	19.2" o.c.
9 1/2"	110	16-11"	15-6"	13-7"	16-11"	15-6"
	210	17-9"	16-3"	14-3"	17-9"	16-3"
	230	18-3"	16-8"	15-9"	18-3"	16-8"
	560	20-2"	18-5"	17-4"	15-9"	17-8"
11 7/8"	110	21-1"	19-3"	18-2"	21-1"	19-3"
	210	21-8"	19-10"	18-8"	21-8"	19-10"
	230	21-8"	20-11"	19-8"	21-8"	19-8"
	560	22-11"	20-11"	20-9"	22-11"	20-8"
14"	110	22-10"	20-11"	19-2"	22-2"	19-2"
	210	23-11"	21-10"	20-8"	23-11"	21-1"
	230	24-8"	22-6"	21-2"	24-8"	22-2"
	560	26-0"	23-8"	22-4"	26-0"	23-8"
18"	110	26-6"	24-3"	22-6"	26-0"	22-6"
	210	27-3"	24-10"	23-6"	27-3"	23-9"
	230	28-9"	26-3"	24-8"	28-9"	26-3"
	560	32-8"	29-8"	28-0"	32-8"	29-8"

L/360 Live Load Deflection (Minimum Criteria per Code)

Depth	40 PSF Live Load / 10 PSF Dead Load			40 PSF Live Load / 20 PSF Dead Load		
	12" o.c.	16" o.c.	19.2" o.c.	12" o.c.	16" o.c.	19.2" o.c.
9 1/2"	110	18-9"	17-2"	15-8"	18-1"	15-8"
	210	19-8"	16-0"	17-0"	19-8"	17-2"
	230	20-3"	18-6"	17-5"	20-3"	18-1"
	560	22-3"	19-4"	17-8"	20-5"	17-8"
11 7/8"	110	23-4"	21-2"	19-4"	22-4"	19-4"
	210	24-0"	21-11"	20-5"	23-7"	20-5"
	230	25-4"	23-2"	21-10"	25-4"	23-2"
	560	28-10"	26-3"	24-9"	28-10"	26-3"
14"	110	24-4"	21-0"	19-2"	22-2"	19-2"
	210	26-6"	23-1"	21-1"	24-4"	21-1"
	230	27-3"	24-4"	22-2"	25-8"	22-2"
	560	28-9"	26-3"	24-9"	28-9"	26-3"
18"	110	32-8"	29-9"	28-0"	32-8"	29-9"
	210	32-8"	24-8"	22-6"	32-8"	22-6"
	230	30-1"	26-0"	23-9"	27-5"	23-9"
	560	31-10"	29-0"	26-10"	31-10"	26-10"

(1) Web stiffeners are required at intermediate supports of continuous-span joists when the intermediate bearing length is less than 5" and the span on either side of the intermediate bearing is greater than the following spans:

- Long-term deflection under dead load, which includes the effect of creep, has not been considered. *Bold italic* spans reflect initial dead load deflection exceeding 0.33".

How to Use These Tables

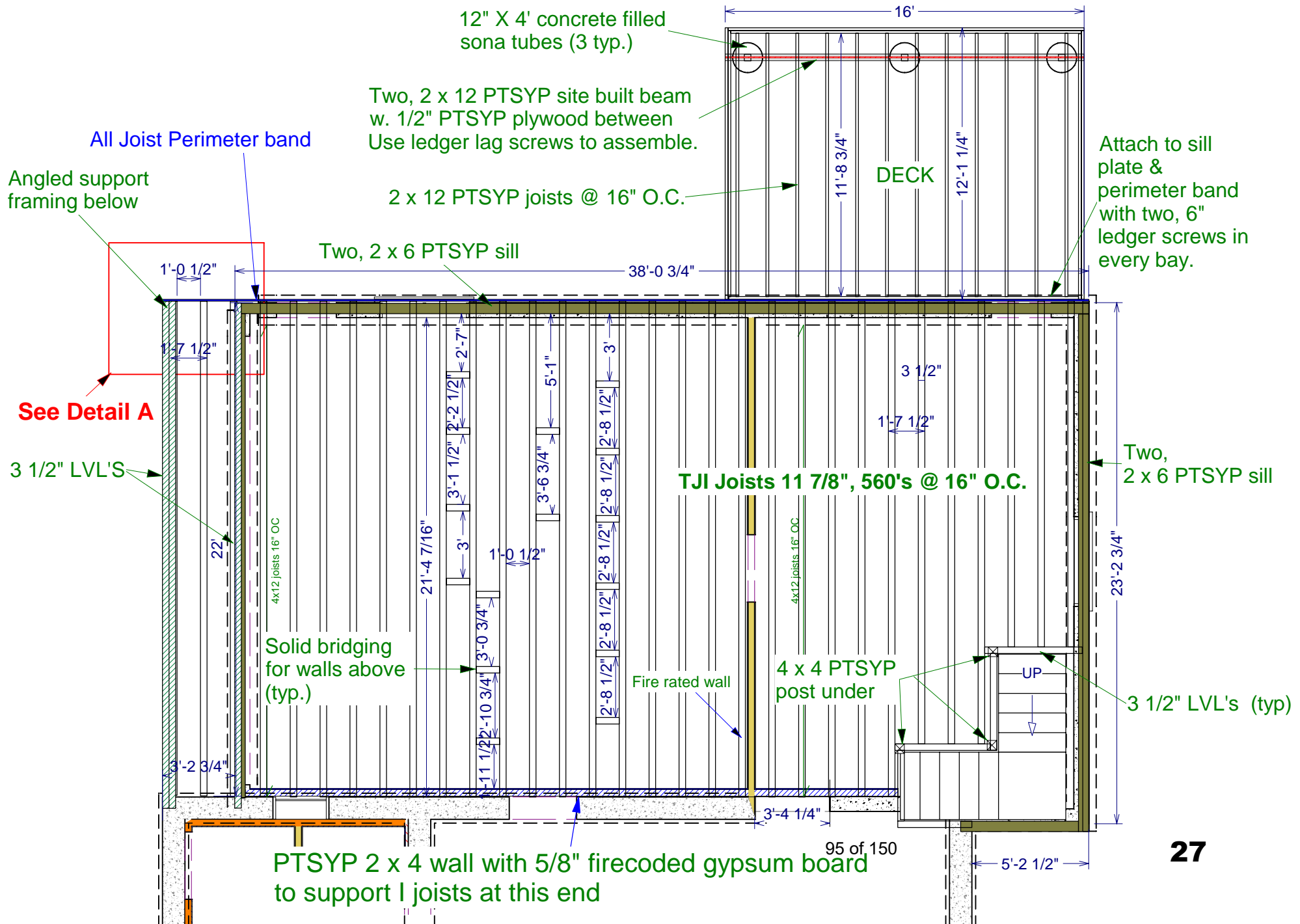
- Determine the appropriate live load deflection criteria.
- Identify the live and dead load condition.
- Select on-center spacing.
- Scan down the column until you meet or exceed the span of your application.
- Select TJI® joist and depth.

Live load deflection is not the only factor that affects how a floor will perform. To more accurately predict floor performance, use our TJI-Pro® Ratings.

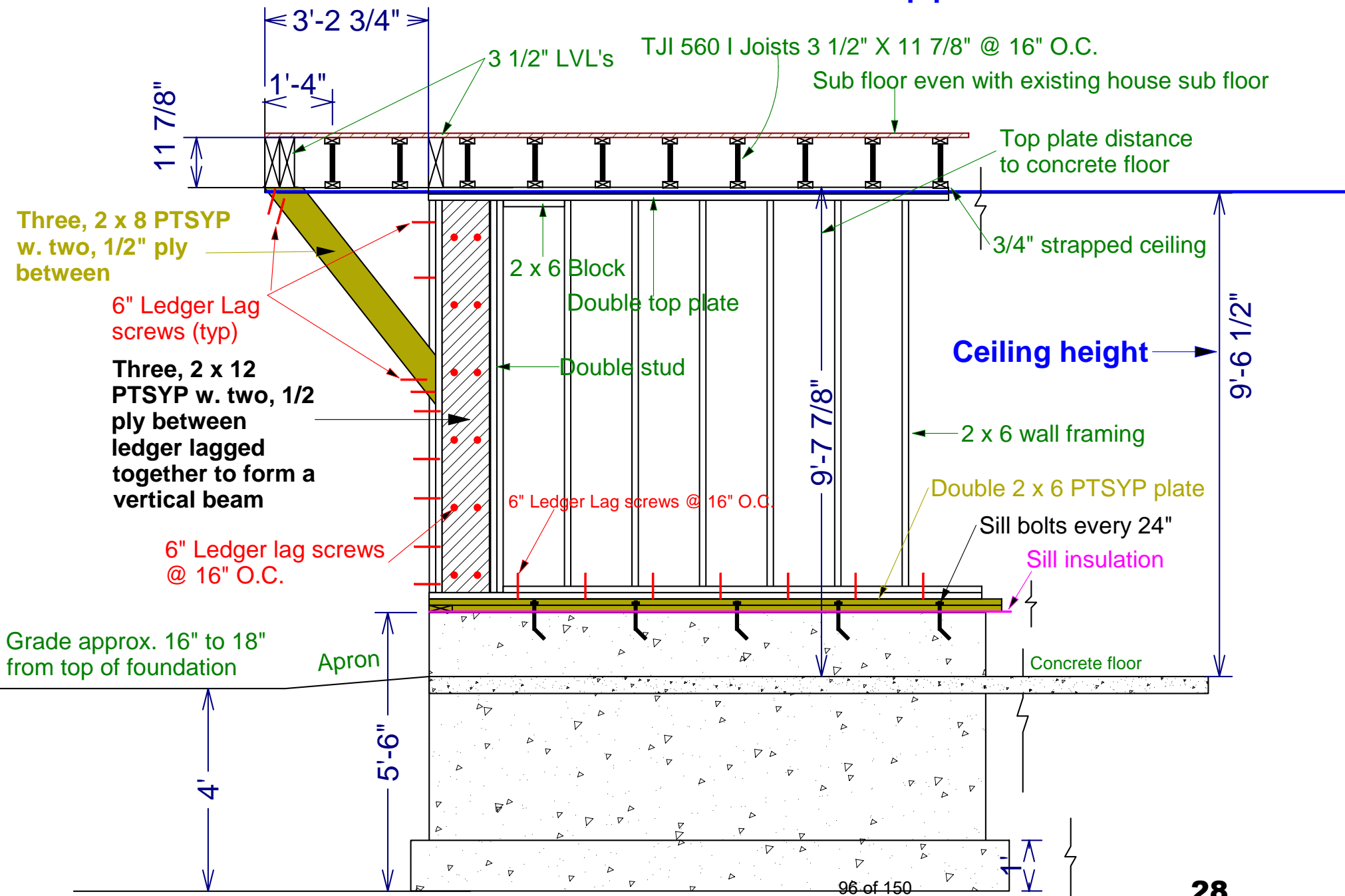
General Notes

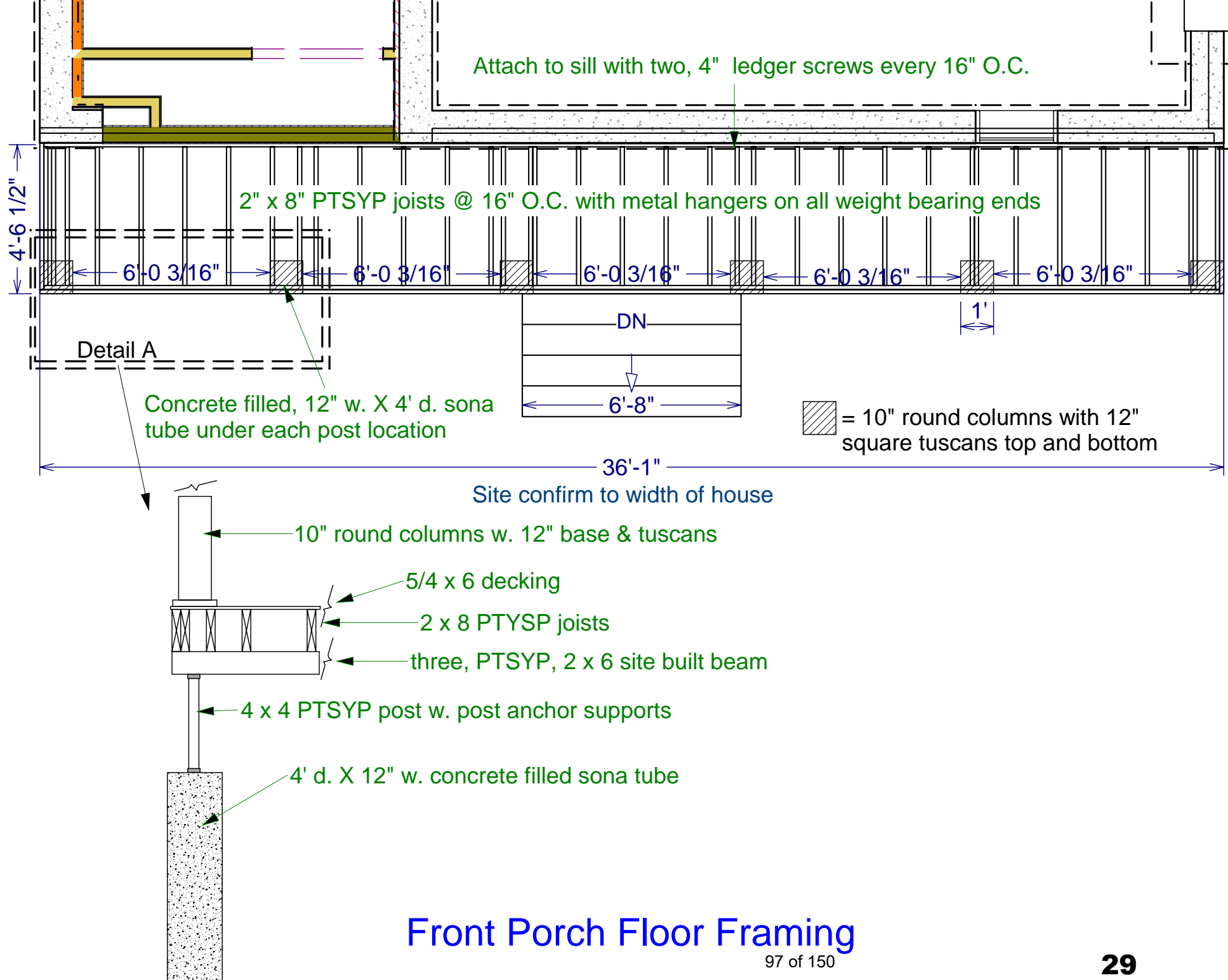
- Tables are based on:
 - Uniform loads.
 - More restrictive of simple or continuous span.
 - Clear distance between supports (13/4" minimum end bearing).
- Assumed composite action with a single layer of 24" on-center span-rated, glue-nailed floor panels for deflection only. **Spans shall be reduced 6" when floor panels are nailed only.**
- Spans generated from iLevel® software may exceed the spans shown in these tables because software reflects actual design conditions.
- For loading conditions not shown, refer to software or to the load table on page 5.

Floor Framing Plan For Deck & Addition

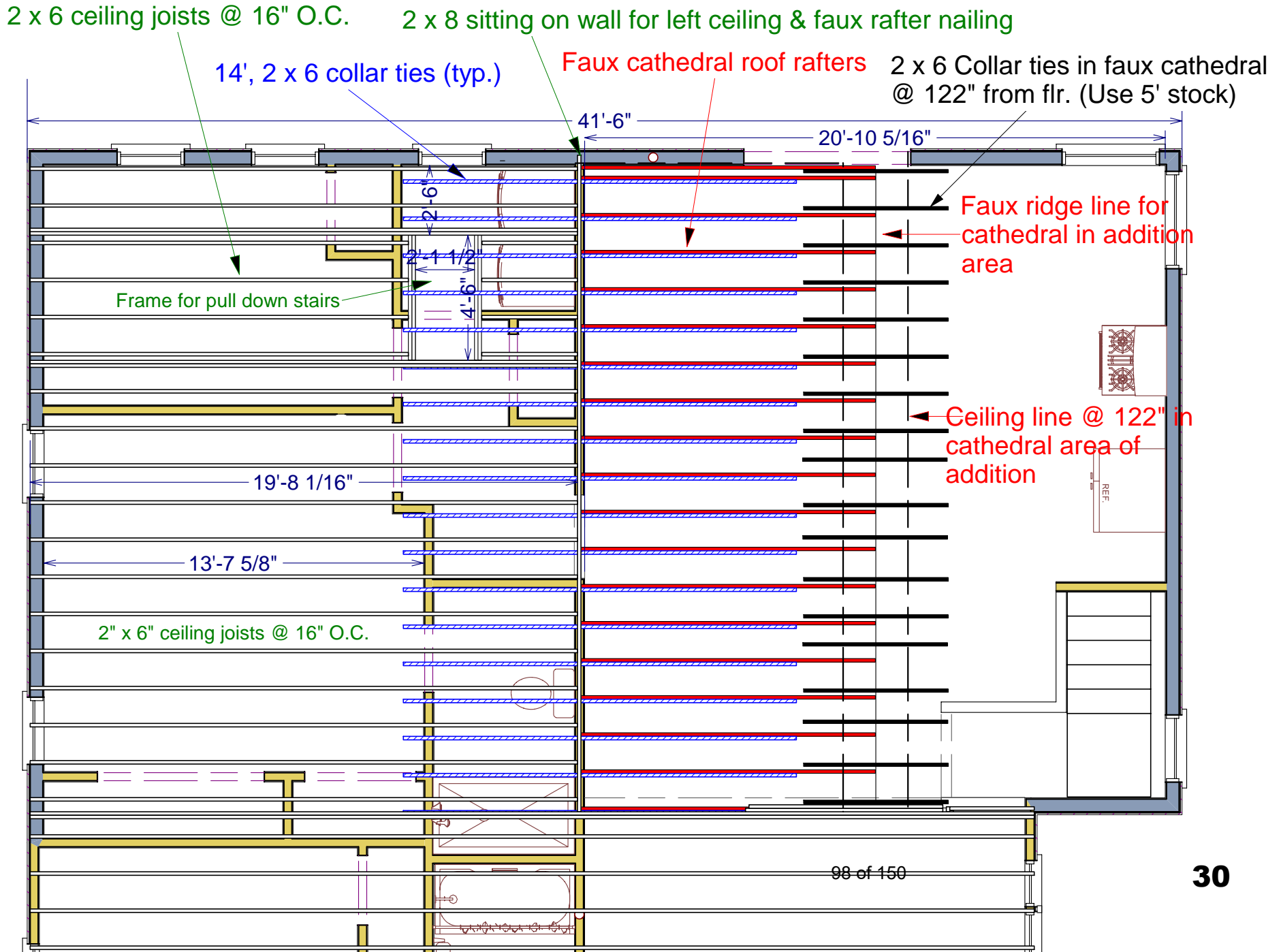


Detail A Cantilever Support Plan

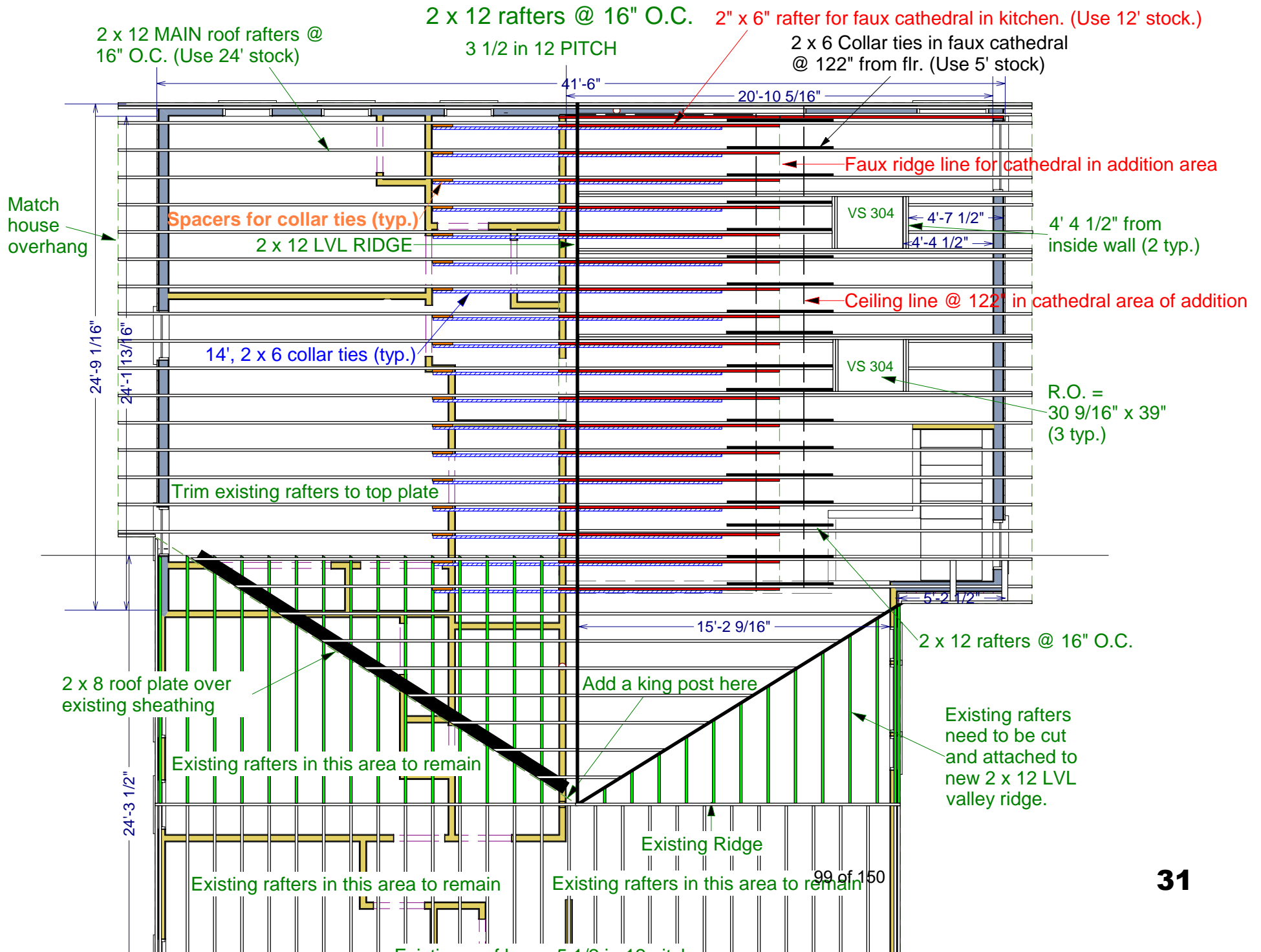


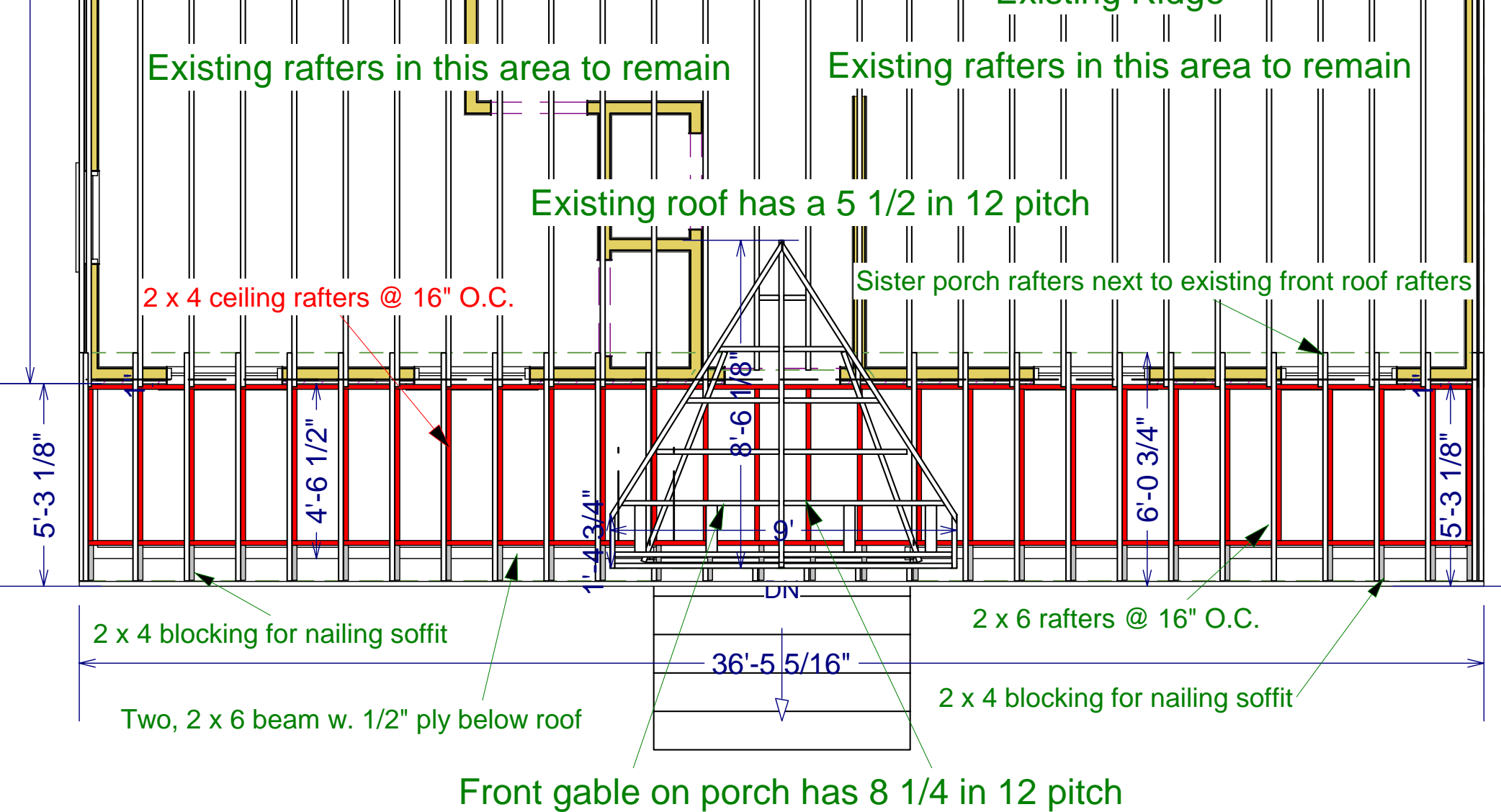


Addition Ceiling Framing Plans



Addition Roof Framing Plans





2" x 6" roof rafters @ 16" O.C. @ 3 1/2 in 12 pitch

New Front Porch Roof Framing Plan

Cross section of stairs
& headroom clearance

Stairwell opening

7'-0 3/16"

step up to
existing
basement

Typical Wall & Ceiling Framing Detail

Typical ceiling or floor joist w. strapping below at 16" O.C.

R-38 fiberglass insulation in flat ceiling areas

No sub floor

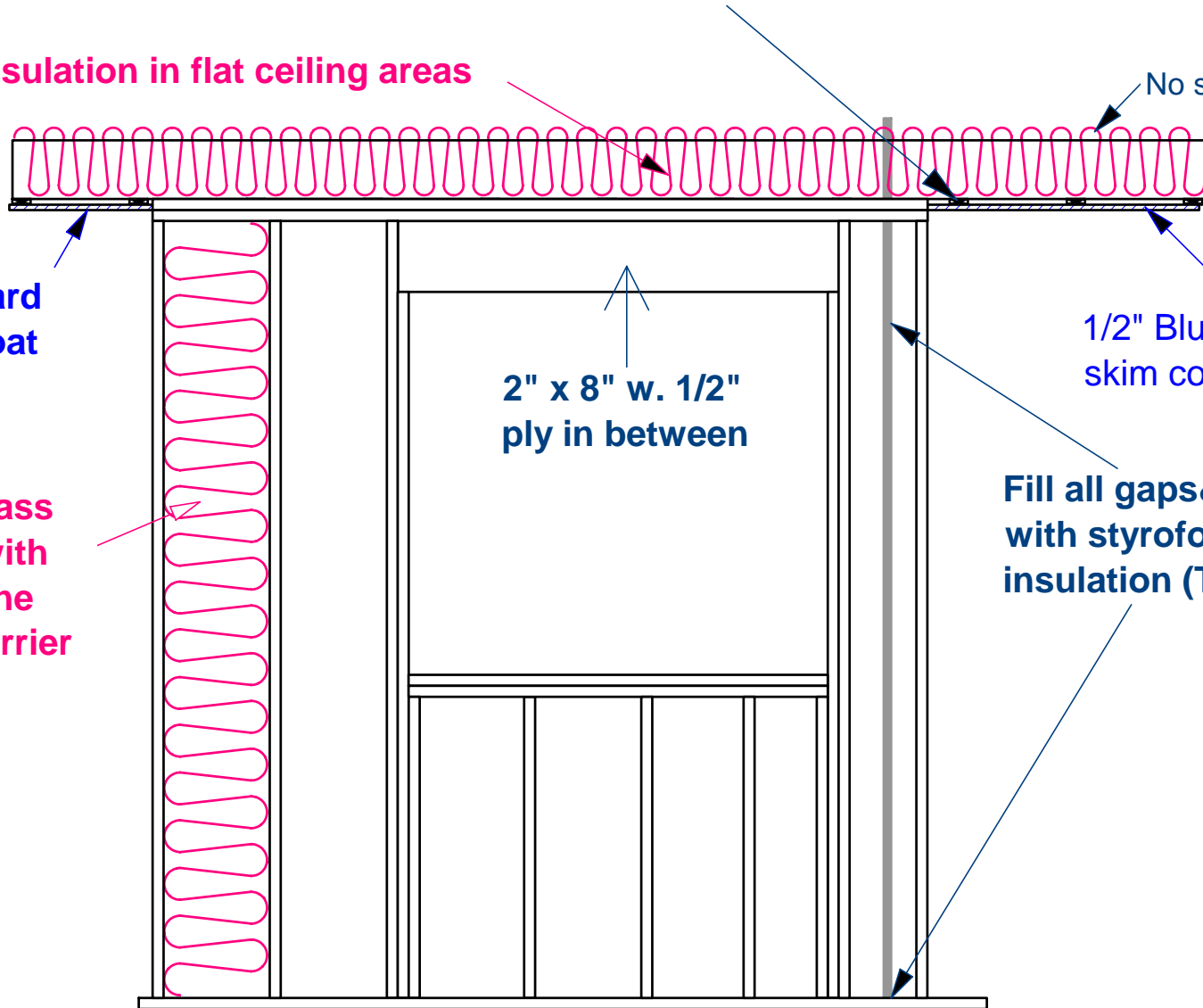
1/2" Blueboard
with skim coat
plaster

1/2" Blueboard with
skim coat plaster

R-21 fiberglass
insulation with
polyethylene
moisture barrier
typical

2" x 8" w. 1/2"
ply in between

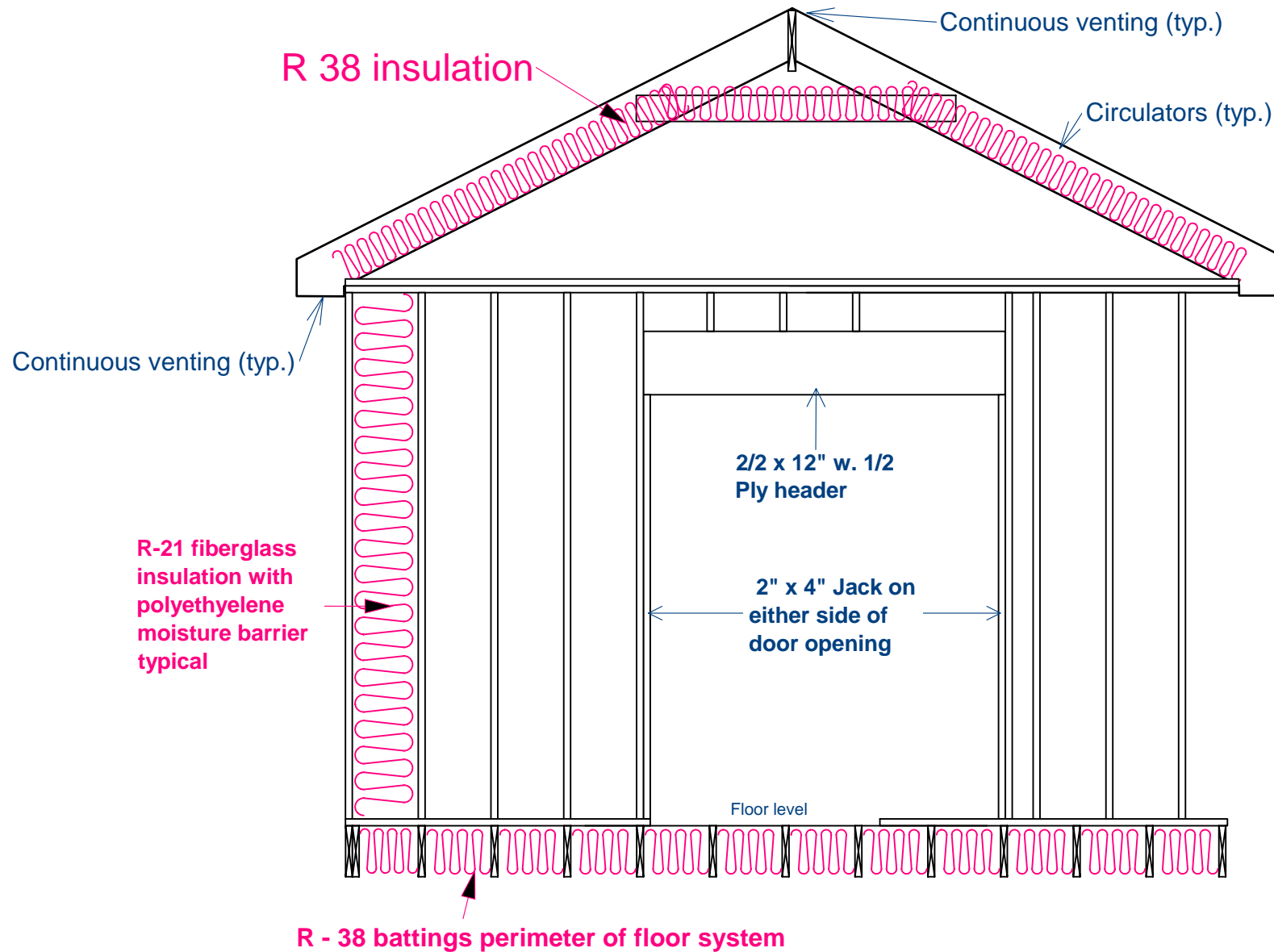
Fill all gaps & holes
with styrofoam
insulation (Typ.)



Standard 72"

Door Opening Framing Detail

Wall, Floor & Cathedral Ceiling Insulation Plan



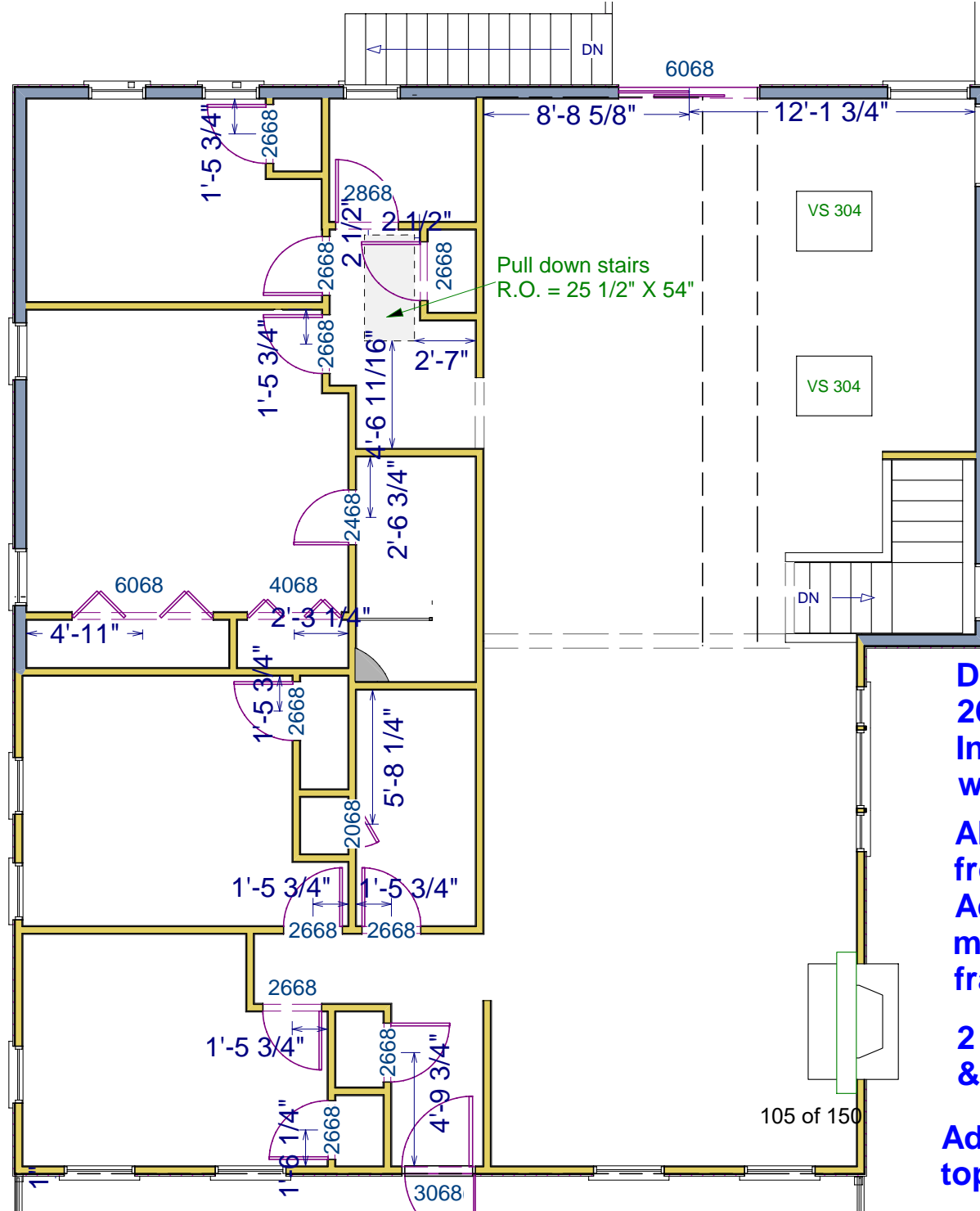
[illegible]

**All measurements are from finish surface.
Add 1/2" when measuring from framing member.**

**2 1/2" colonial window
& door casings. (Typ.)**

Add 1" to width & height for R.O.

Door Schedule & Dimensional Plan



Door Key:
 2668 = 2'- 6" X 6'- 8"
 Interior doors: 6 panel
 white molded doors

All measurements are
 from finish surface.
 Add 1/2" when
 measuring from
 framing member.

2 1/2" colonial window
 & door casings. (Typ.)

Add 1" to width & 1 1/4"
 top & bottom for R.O.



REScheck Software Version 4.3.1 Compliance Certificate

Project Title: Colozzo House Renovation

Energy Code:
Location:
Construction Type:
Project Type:
Heating Degree Days:
Climate Zone:

2007 IECC
Arlington, Massachusetts
Single Family
Addition/Alteration
6573
5

Construction Site:
6 Lawrence Lane
Arlington, MA 02474

Owner/Agent:
Tony & Anna Colozzo
6 Lawrence Lane
Arlington, MA 02474
1-781-646-6002

Designer/Contractor:
David J. Villandry
Villandry Contracting, Inc.
91 R Mystic St.
Arlington, MA
02474
davevillandry@gmail.com

Compliance: Passes

Compliance: **8.5% Better Than Code** Maximum UA: **229** Your UA: **210**
The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules.
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Wall 1: Wood Frame, 16" o.c.	652	19.0	7.0		19
Window 1: Vinyl Frame:Double Pane with Low-E	8			0.300	2
Window 2: Vinyl Frame:Double Pane with Low-E	8			0.300	2
Window 3: Vinyl Frame:Double Pane with Low-E	8			0.300	2
Window 4: Vinyl Frame:Double Pane with Low-E	8			0.300	2
Window 5: Vinyl Frame:Double Pane with Low-E	8			0.300	2
Window 6: Vinyl Frame:Double Pane with Low-E	8			0.300	2
Window 7: Vinyl Frame:Double Pane with Low-E	8			0.300	2
Window 8: Vinyl Frame:Double Pane with Low-E	8			0.300	2
Window 9: Vinyl Frame:Double Pane with Low-E	8			0.300	2
Window 10: Vinyl Frame:Double Pane with Low-E	8			0.300	2
Window 11: Vinyl Frame:Double Pane with Low-E	16			0.300	5
Window 12: Vinyl Frame:Double Pane with Low-E	16			0.300	5
Window 13: Vinyl Frame:Double Pane with Low-E	16			0.300	5
Window 14: Vinyl Frame:Double Pane with Low-E	16			0.300	5
Window 15: Vinyl Frame:Double Pane with Low-E	6			0.300	2
Window 16: Vinyl Frame:Double Pane with Low-E	6			0.300	2
Window 17: Vinyl Frame:Double Pane with Low-E	11			0.300	3
Door 1: Glass	39			0.300	12
Door 2: Solid	39			0.440	17
Wall 2: Wood Frame, 16" o.c.	591	15.0	0.0		46
Ceiling 1: Cathedral Ceiling (no attic)	462	38.0	0.0		12
Skylight 1: Metal Frame:Double Pane with Low-E	7			0.400	3
Skylight 2: Metal Frame:Double Pane with Low-E	7			0.400	3
Ceiling 2: Flat Ceiling or Scissor Truss	1310	38.0	0.0		39
Floor 1: All-Wood Joist/Truss:Over Unconditioned Space	462	38.0	0.0		12

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2007 IECC requirements in REScheck Version 4.3.1 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title	Signature	Date
--------------	-----------	------



REScheck Software Version 4.3.1

Inspection Checklist

Ceilings:

☐ Ceiling 1: Cathedral Ceiling (no attic), R-38.0 cavity insulation
Comments: _____

☐ Ceiling 2: Flat Ceiling or Scissor Truss, R-38.0 cavity insulation
Comments: _____

Above-Grade Walls:

☐ Wall 1: Wood Frame, 16" o.c., R-19.0 cavity + R-7.0 continuous insulation
Comments: _____

☐ Wall 2: Wood Frame, 16" o.c., R-15.0 cavity insulation
Comments: _____

Windows:

☐ Window 1: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 2: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 3: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 4: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 5: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 6: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 7: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panes _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 8: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:

108 of 150

40

#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 9: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 10: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 11: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 12: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 13: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 14: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 15: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 16: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Window 17: Vinyl Frame:Double Pane with Low-E, U-factor: 0.300
For windows without labeled U-factors, describe features:
#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

Note: Up to 15 sq.ft. of glazed fenestration per dwelling is exempt from U-factor and SHGC requirements.

Skylights:

☐ Skylight 1: Metal Frame:Double Pane with Low-E, U-factor: 0.400
#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

☐ Skylight 2: Metal Frame:Double Pane with Low-E, U-factor: 0.400
#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No
Comments: _____

Doors:

☐ Door 1: Glass, U-factor: 0.300
Comments: _____

☐ Circulating service hot water systems include an automatic or accessible manual switch to turn off the circulating pump when the system is not in use.

Certificate:

☐ A permanent certificate is provided on or in the electrical distribution panel listing the predominant insulation R-values; window U-factors; type and efficiency of space-conditioning and water heating equipment. The certificate does not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels.

NOTES TO FIELD: (Building Department Use Only)



2007 IECC Energy Efficiency Certificate

Insulation Rating		R-Value	
Ceiling / Roof		38.00	
Wall		15.00	
Floor / Foundation		38.00	
Ductwork (unconditioned spaces): _____			

Glass & Door Rating		U-Factor	SHGC
Window		0.30	
Skylight		0.40	
Door		0.30	NA

Heating & Cooling Equipment		Efficiency
Water Heater:	_____	_____

Name: _____ Date: _____

Comments: _____



















Town of Arlington, Massachusetts

Request for Determination of Applicability: 22 Mill Street

Summary:

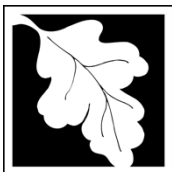
Request for Determination of Applicability: 22 Mill Street

Documents: 22 Mill St- RDA Documents

This public hearing will consider a Request for Determination of Applicability to repair an existing culvert crossing structure at 22 Mill Street, within the Riverfront Area and Adjacent Upland Resource Area associated with Mill Brook.

ATTACHMENTS:

	Type	File Name	Description
▢	Reference Material	22_Mill_St-_RDA_Documents.pdf	22 Mill St- RDA Documents



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Arlington
City/Town

WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. General Information

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

22 Mill Street Condo Assoc. c/o Eastport Real Estate
Services

roregan@eastportrealestate.com
E-Mail Address

107 Audubon Road

Mailing Address

Wakefield

City/Town

MA
State

01880
Zip Code

781-890-5855

Phone Number

Fax Number (if applicable)

2. Representative (if any):

Ronald Tiberi P.E.

Firm

Ron Tiberi

Contact Name

rtib@comcast.net
E-Mail Address

9 Massachusetts Ave

Mailing Address

Natick

City/Town

MA
State

01760
Zip Code

6175926122

Phone Number

Fax Number (if applicable)

B. Determinations

1. I request the Arlington make the following determination(s). Check any that apply:
Conservation Commission

- ☐ a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- ☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- ☒ c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- ☒ d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

ARLINGTON

Name of Municipality

- ☐ e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

Arlington

City/Town

WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

22 MILL STREET

Street Address

ARLINGTON

City/Town

52-2/54035

Assessors Map/Plat Number

52-A-1

Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

As shown on attached plan- work areas are at the surfaces of the vehicle and pedestrian crossings over Mill Brook

- c. Plan and/or Map Reference(s):

Determination of Applicability Plan

Title

12/26/22

Date

Title

Date

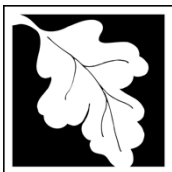
Title

Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

Surface maintenance and repairs to two (*2) concrete structures over the Mill Brook. 1. The 30' wide vehicle culvert crossing to the westerly end of the parcel. Work will include the erection of staging and work platforms as well as the installation of debris netting and a downstream turbidity curtain to be maintained for the duration of the project. The work includes preparation of concrete surfaces and the application of concrete finishes and sealants to repair deterioration. The placement of 6"+ rip-rap stone at upstream ends of culvert footings to reduce scouring is also proposed.

2. The 6' wide pedestrian bridge from Mill Street to the main entrance. Work will include the erection of staging and work platforms as well as the installation of debris netting and a downstream turbidity curtain to be maintained for the duration of the project. Work includes the installation of an expansion joint, preparation of concrete surfaces and the application of concrete finishes and sealants to repair deterioration. The project timeline is approximately two (2) months. Assessment reports are attached for detailed conditions.



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

C. Project Description (cont.)

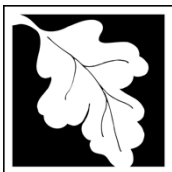
b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

No filing, dredging and or alteration to any resource areas are proposed or anticipated.

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☐ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

22 Mill Street Condo Association

Name

c/o Eastport Real Estate Services

Mailing Address

Wakefield

City/Town

MA

State

01880

Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Signature of Applicant

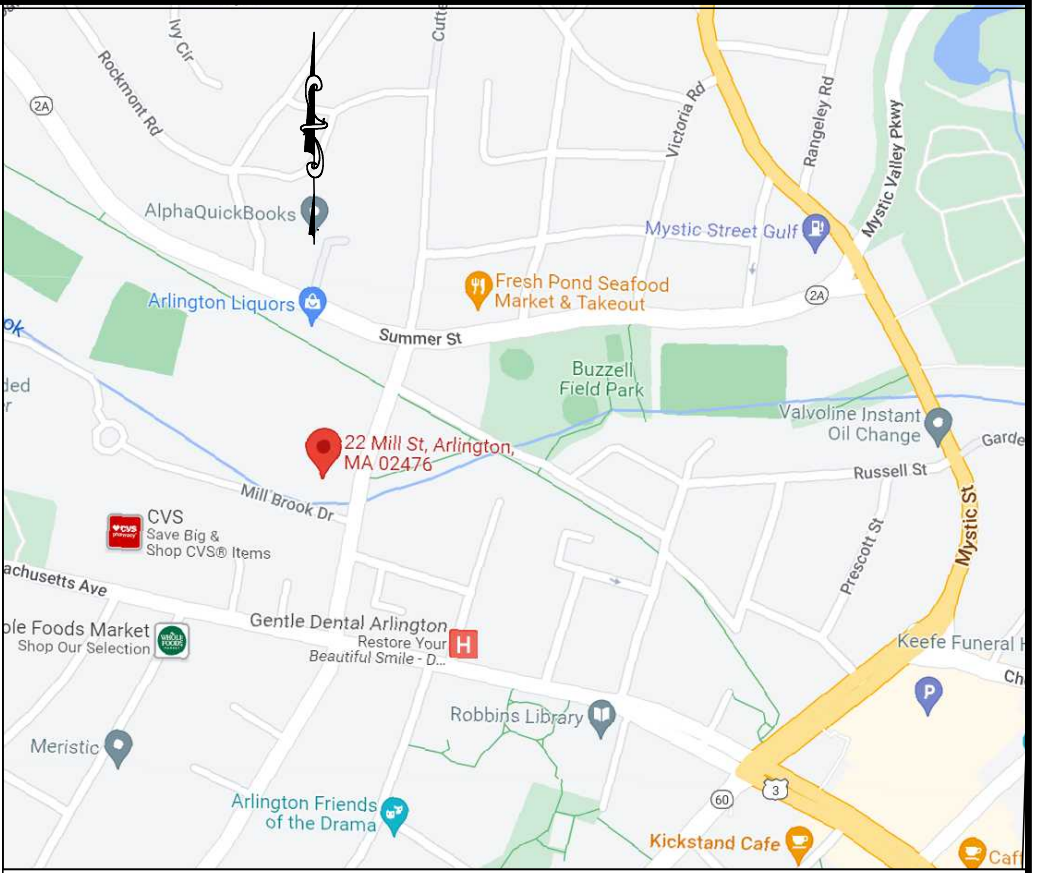
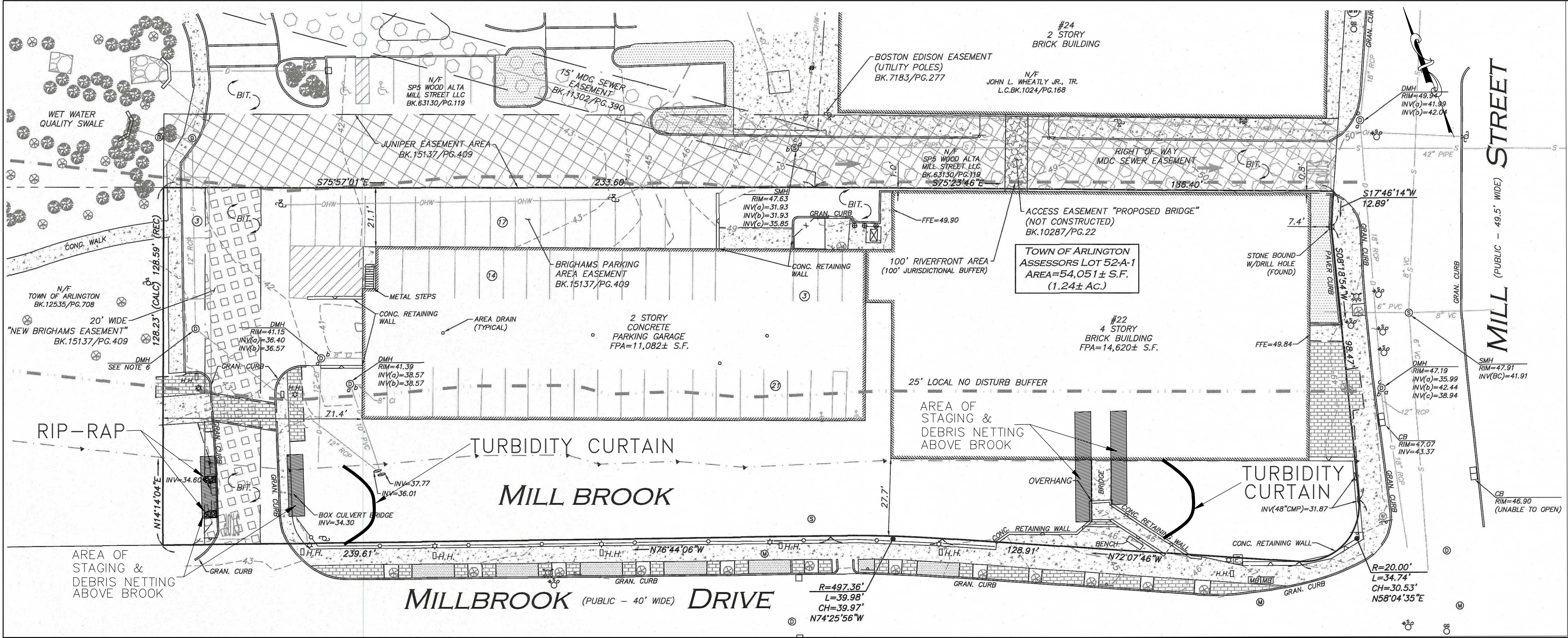
Date

1.6.23

Signature of Representative (if any)

Date

LEGEND	
	PROP. LINE
	TREE LINE
	STONE WALL
	WETLAND BUFFERS
	WATER SERVICE
	SOIL TESTING LOCATION
	EXISTING CONTOUR
	PROPOSED GRADING
	PROPOSED SPOT ELEV.
	EXISTING TREE
	REMOVED TREE



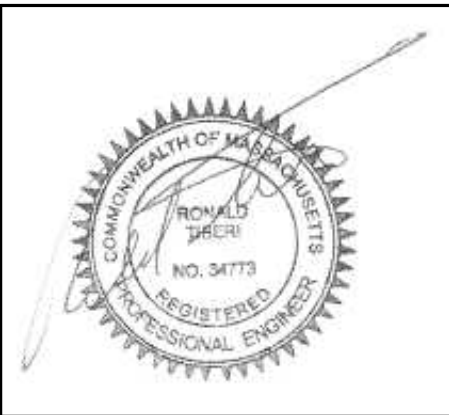
LOCUS MAP
N.T.S.

DIG SAFE NOTE:
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



REVISIONS		
No.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DETERMINATION OF
APPLICABILITY PLAN
IN
ARLINGTON, MASSACHUSETTS

22 MILL STREET

PREPARED FOR: EASTPORT REAL ESTATE SERVICES
107 AUDUBON ROAD
WAKEFIELD MA 01880

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 12FR1

DATE: DEC 26, 2022 SHEET 1 OF 1

BASEMAP REF:
ASBUILT DRAWING DATED: 6/27/17
BY ALLENS & MAJOR ASSOCIATES INC.

October 14, 2022

Mr. Ryan O'Regan | Property Manager
Eastport Real Estate Services
107 Audubon Road
Wakefield MA 01880

Re: Inspection of Culvert Crossing Structure
22 Mill Street
Arlington MA

Dear Mr. O'Regan:

On September 30, 2022, our office inspected the structure to the westerly end of the property at 22 Mill Street (hereinafter sometimes the "Site" or "Structure"). The structure 22'± long by 32'± wide overall footprint providing vehicular via a two-lane paved drive and a pedestrian walkway to access the rear of the parcel over Mill Brook which flow west to east across the property. The structure is a poured in place reinforced three-sided box culvert installed circa 1968. The structure maintains an opening of 7' high (from footing) by 10' wide and is in good condition. The side walls are placed upon poured concrete footings along the sides of the bank of mill brook without any formal wingwalls. The sidewalls and roof structure are all poured in place concrete and in good condition.

Finding/Recommendations

No significant structural deficiencies were observed during this inspection. Attached are several representative photos of each of the listed items and a key plan (Figure 1) to most of the locations in need of repairs. Several considerations for structure preservation and maintenance, would be to perform minor enhancements as listed below.

During our inspection, the following repairs needed were observed:

- Prep. & seal coat areas subject to efflorescence
- Repair of roof joint using epoxy mortar and sealant
- Installation of concrete support over top of east side for rail support
- Repair of miscellaneous deteriorating concrete sections using cementitious repair mortar
- Crack and joint seals at surface walkway and asphalt
- Repair concrete curbing
- Install Rip-Rap to reduce scour erosion at footings

This assessment and recommendations were determined by visual inspection and discussions with individuals associated with the inspection. Our office makes no warranty or guarantee expressed or implied with any individual structure or component.

All repairs will be subject to requirements of Arlington Conservation Commission. Contractor should provide detail means & methods for repairs and shop drawing data on materials for approvals.

Should you have any further questions please do not hesitate to call our office.

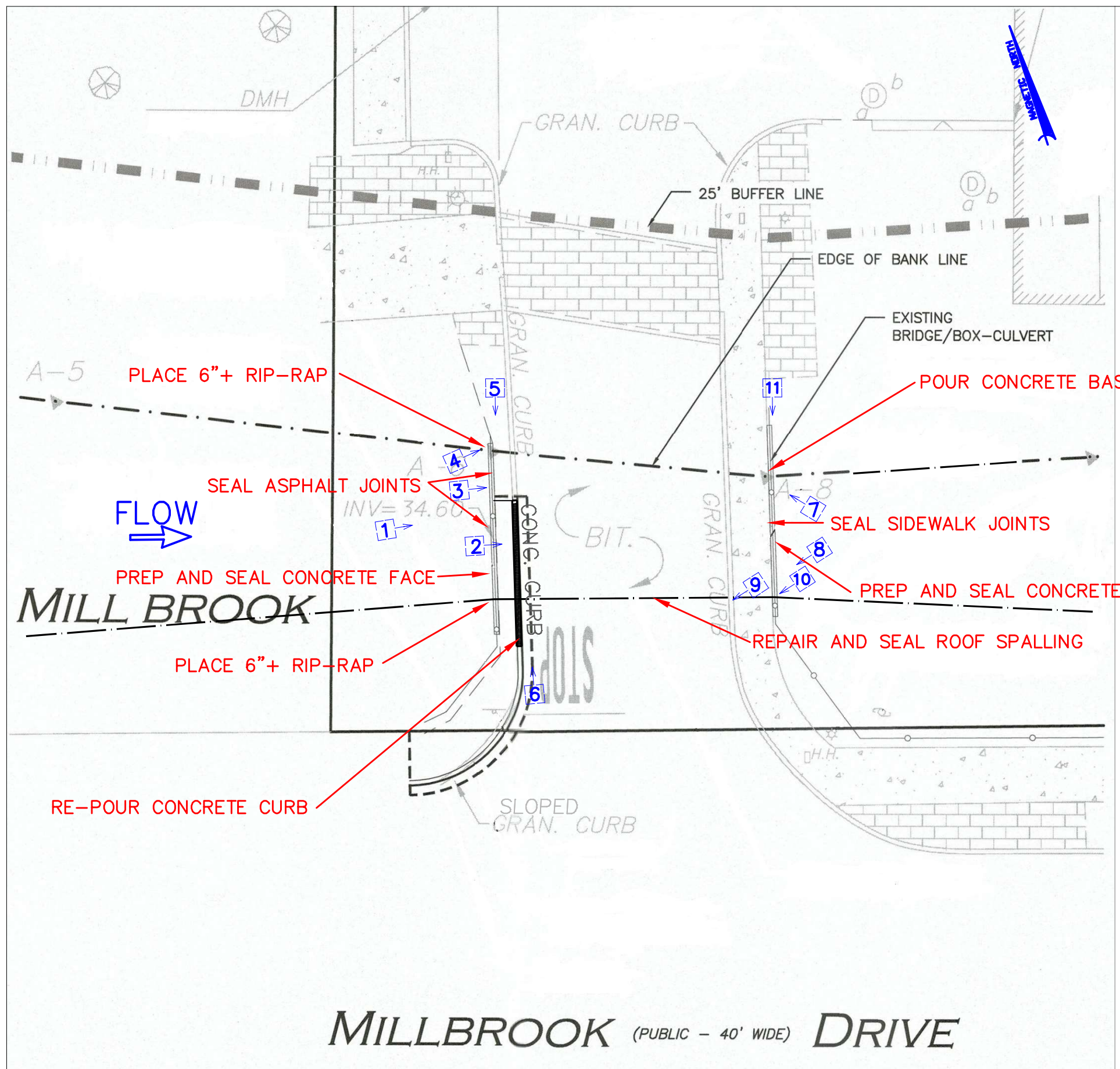
Sincerely,

A handwritten signature in blue ink, appearing to read "Ronald Tiberi". The signature is fluid and stylized, with a long horizontal stroke extending to the right.

Ronald Tiberi P.E.
Commonwealth of Massachusetts License # 34773

Attachments:

Photographs and Key Maps



LEGEND

- XX → Photo Designation, Location and Orientation
- RECOMMENDED REPAIRS

FIGURE 1— Culvert Site Plan

Base Map By — Allens & Majors
 Bridge Rehabilitation Plan
 22 Mill Street — Arlington MA
 Dated 3/1/22

Photograph #1



Historic efflorescence from road salt intrusion and isolated spalling

Photograph #2



Underside of culvert in good condition

Photograph #3



Culvert Interior – water level at top of footing

Photograph #4



Footing exposed 22" west side

Photograph #5



Granite curb & asphalt walk northern section, railing loose
Photograph #6



Eroded concrete curbing with asphalt walk southerly section

Photograph #7



East side - efflorescence and spalling of box culvert evident, concrete base for handrail with brick filler exposed. Steel posts for handrails exposed

Photograph #8



East Side conditions continued

Photograph #9



Small crack, exposed rebar and concrete irregularities upper southeast side of culvert

Photograph #10



Footing undermined 12" southeast corner

Photograph #11



Rail and concrete base, concrete sidewalk

October 15, 2022

Mr. Ryan O'Regan | Property Manager
Eastport Real Estate Services
107 Audubon Road
Wakefield MA 01880

Re: Inspection of Pedestrian Bridge Structure
22 Mill Street
Arlington MA

Dear Mr. O'Regan:

On September 30, 2022, our office inspected the pedestrian structure to the southerly side of the property at 22 Mill Street (hereinafter sometimes the "Site" or "Structure"). The structure 40'± long by 8'± wide overall footprint providing pedestrian access from Millbrook Drive via a concrete walkway to access the building over Mill Brook which flow west to east across the property. The structure is comprised of two forty-two inch wide precast concrete spans attached to a concrete abutment on the southern side of the brook and attached to a column connection in the patio area some eighteen feet north of the brook edge. The span has several forty-eight inch wide concrete panels attached to the sides which also support the handrails. The structure was installed circa 1984 and is in good condition.

Finding/Recommendations

No significant structural deficiencies were observed during this inspection. Attached are several representative photos of each of the listed items and a key plan (Figure 1) to most of the locations in need of repairs. Several considerations for structure preservation and maintenance, would be to perform minor enhancements as listed below.

During our inspection, the following repairs needed were observed:

- Prep. & seal coat areas subject to efflorescence
- Repair of roof joint using epoxy mortar and sealant
- Installation of concrete expansion joint
- Repair of miscellaneous deteriorating concrete sections using cementitious repair mortar
- Prep and seal surface walkway
- Rust inhibitor at all clips
- Remove metal strapping at abutment

This assessment and recommendations were determined by visual inspection and discussions with individuals associated with the inspection. Our office makes no warranty or guarantee expressed or implied with any individual structure or component.

All repairs will be subject to requirements of Arlington Conservation Commission. Contractor should provide detail means & methods for repairs and shop drawing data on materials for approvals.

Should you have any further questions please do not hesitate to call our office.

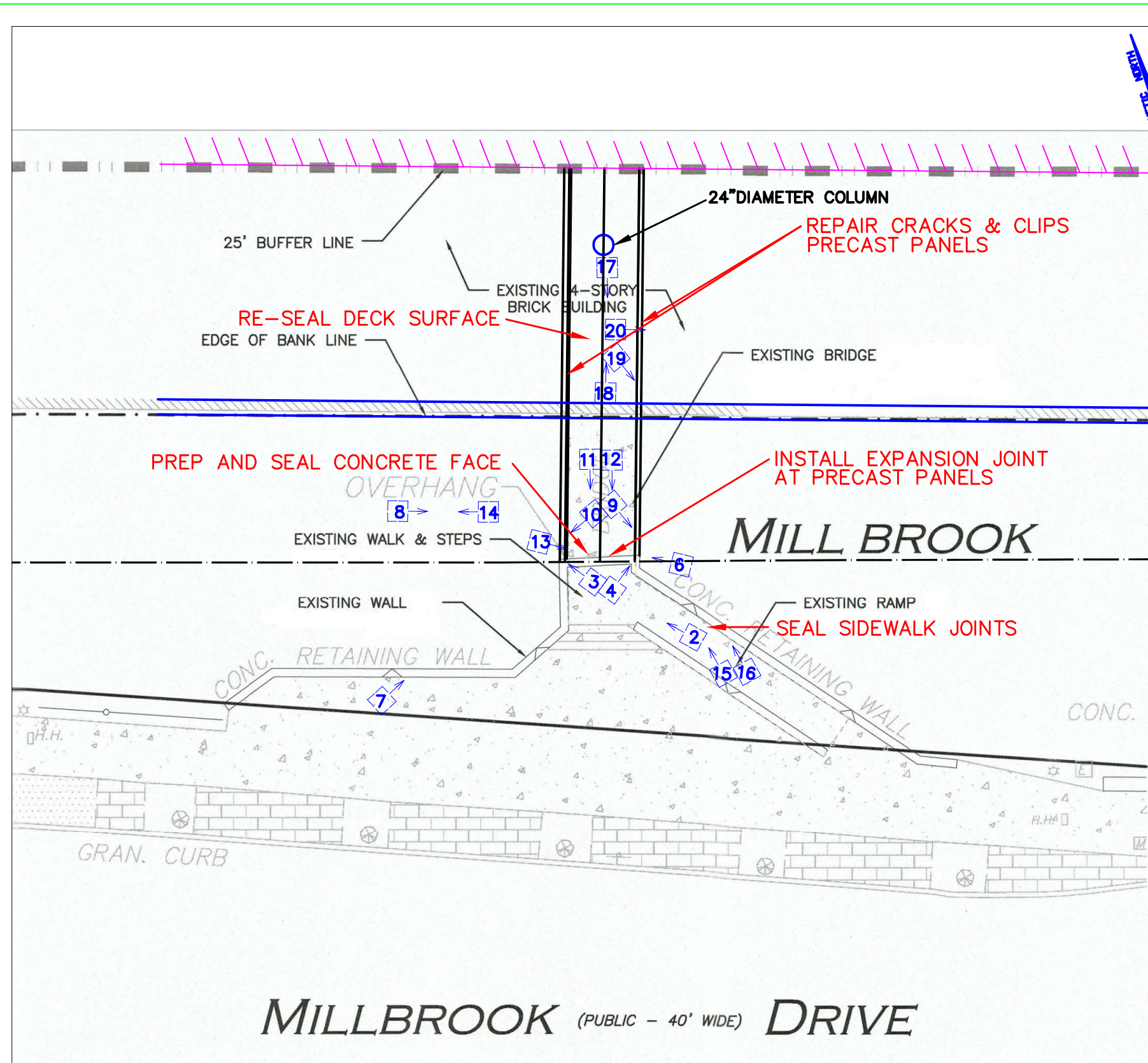
Sincerely,

A handwritten signature in blue ink, appearing to read "Ronald Tiberi". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Ronald Tiberi P.E.
Commonwealth of Massachusetts License # 34773

Attachments:

Photographs and Key Maps



LEGEND

XX → Photo Designation, Location and Orientation

→ RECOMMENDED REPAIRS

FIGURE 1— PEDESTRIAN BRIDGE SITE PLAN

Base Map By — Allens & Majors
 Bridge Rehabilitation Plan
 22 Mill Street — Arlington MA
 Dated 3/1/22

Photograph #1



Front of Pedestrian crossing, steps to front, handicap ramp to right
Photograph #2



Handicap ramp approach to platform

Photograph #3



Patch between approach landing and span

Photograph #4



Patch between approach landing and span, rusted clip on pre-cast

Photograph #5



Span deck coated surface failing

Photograph #6



Rust staining at beam seat, abutment side and precast curbs

Photograph #7



Prior wall repair in foreground, rust stains and efflorescence at abutment bearing point and precast curb

Photograph #8



Precast panels with prior repairs – rusted clips on underside

Photograph #9



Spalling, rust stains on deck panels at abutment seat

Photograph #10



Spalling, cracks, rust stains on deck panels at abutment seat, loose conduit and exposed wiring

Photograph #11



Minor efflorescence and cracking. Rusted steel strapping embedded.

Photograph #12



Minor Spalling around strapping

Photograph #13



Footing exposed 8-10" along abutment

Photograph #14



Footings exposed 8-10" along walls and foundations

Photograph #15



Spalling at post penetrations

Photograph #16



Spalling along wall and minor cracks on walkway

Photograph #17



Underside walkway with side pre-cast components & 2- 42" wide pre-cast spans

Photograph #18



24" diameter column support for span & landing

Photograph #19



Precast sections (24"hx48"Lx6"w) several repaired – clip with wedge noted

Photograph #20



Sections cracked inline with clips